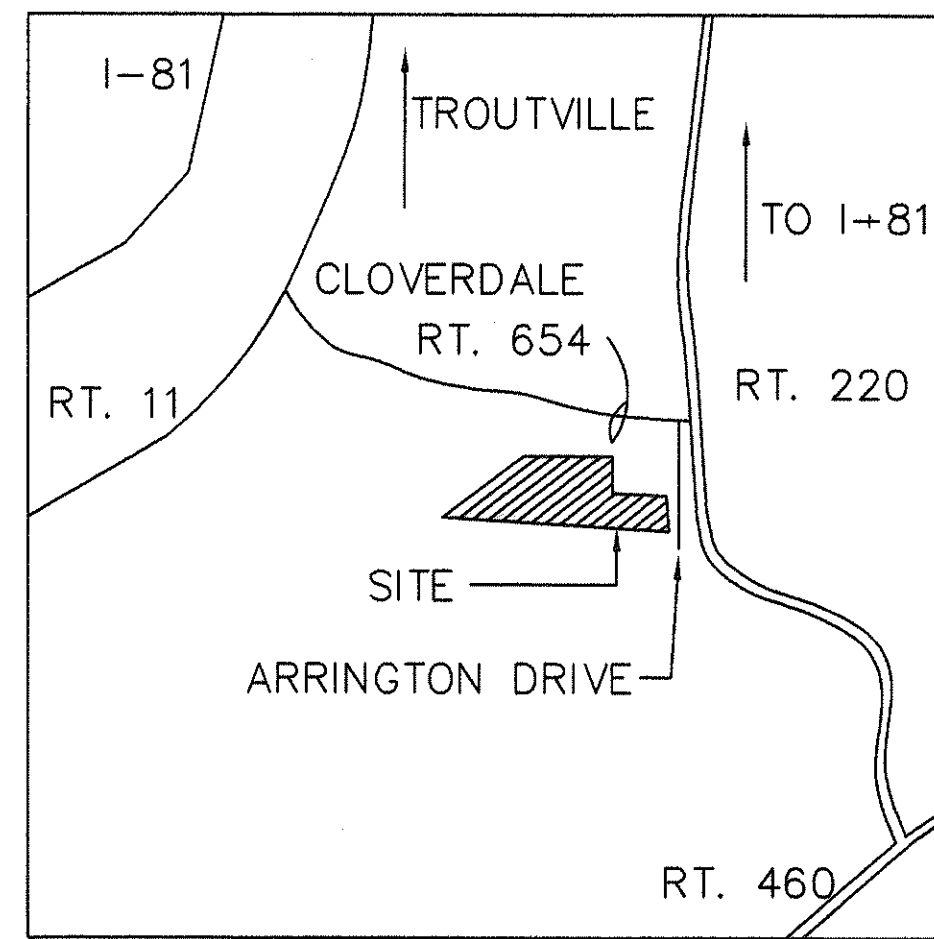


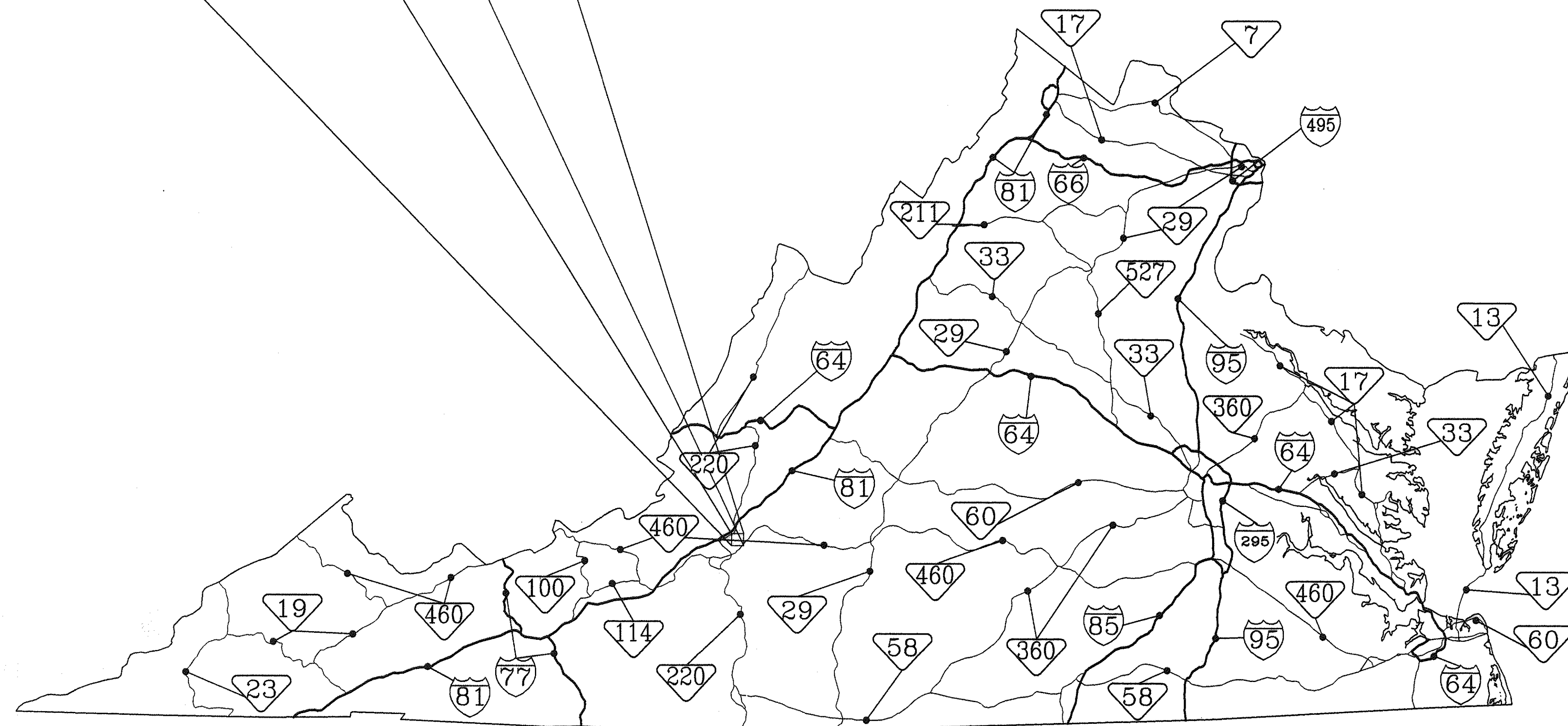
# MOUNTAIN CREST

VICINITY MAP  
NO SCALE



## BOTETOURT COUNTY, VIRGINIA

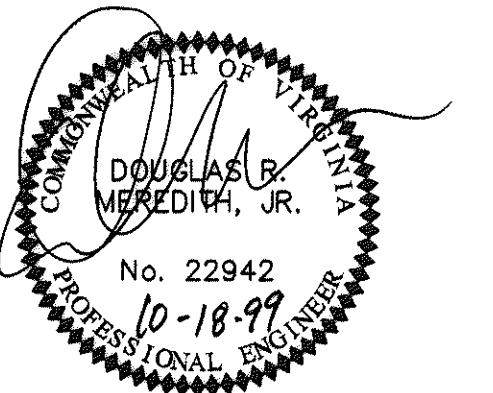
FRED HANCOCK  
P.O. BOX 6  
DALEVILLE, VIRGINIA 24083  
PHONE #: 992-2384



LOCATION MAP  
NO SCALE

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2. ABBREVIATIONS, LEGEND, GENERAL NOTES & PLAN & PROFILE KEY PLAN
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12. SEWER DETAILS
13. EROSION & SEDIMENT CONTROL NARRATIVE
14. EROSION & SEDIMENT CONTROL ADDITIONAL DETAILS



**LMW** P.C.  
ENGINEERING • ARCHITECTURE • SURVEYING  
(540) 345-0675 102 ALBEMARLE AVE., S.E.  
FAX (540) 342-4456 ROANOKE, VIRGINIA 24013

## MOUNTAIN CREST SITE PLAN

COMM. NO. 1809

DATE: 05/26/99 REVISED: 10/18/99

SET NO.

ABBREVIATIONS

ABAN	ABANDON, ABANDONED
ABUT	ABUTMENT
ADJ	ADJACENT
AGGR	AGGREGATE
ANC	ANCHOR
APPROX	APPROXIMATE
BIT	BITUMINOUS
BJ	BELL JOINT
BL	BASE LINE
BEG	BEGIN, BEGINNING
BLDG	BUILDING
BM	BENCH MARK
BSP	BLACK STEEL PIPE
BV	BUTTERFLY VALVE
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
C & G	CURB AND GUTTER
CI	CAST IRON
CL	CENTER LINE
CONST	CONSTRUCTION
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNITS
CND	CONDUIT
CO	CLEANOUT
COMB	COMBINATION
CONC	CONCRETE (PORTLAND CEMENT)
CONN	CONNECT, CONNECTION
CONTR	CONTRACTOR
CONV	CONVEYOR
COR	CORNER
CR STONE	CRUSHED STONE
CTR	CENTER
CULV	CULVERT
D	DEPTH OR DEGREE OF CURVE
DE	DRAINAGE EASEMENT
DI	DROP INLET, DUCTILE IRON
DIA	DIAMETER
DIM	DIMENSION
DISC	DISCONNECT
DMH	DROP MANHOLE
DN	DOWN
DTL	DETAIL
DW, D/W	DRIVEWAY
DWL	DWELLING
DWG	DRAWING
EA	EACH
E.B.L.	EASTBOUND LANE
EL. ELEV	ELEVATION
ELEC	ELECTRICAL
ENGR	ENGINEER
ENTR	ENTRANCE
EOL	END OF LINE
EP	EDGE OF PAVEMENT
EQ	EQUAL
EQPT	EQUIPMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EW	EACH WAY, ENDWALL
EXIST	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR
FEE	FINISHED FLOOR ELEVATION
FIG	FIGURE
FL	FLOOR
FLEX	FLEXIBLE
FLG	FLANGE
FT	FOOT
FTG	FOOTING
FUT	FUTURE
GAL	GALLON
GALV	GALVANIZED
GAR	GARAGE
GND	GROUND
GR	GRAVEL
GOVT	GOVERNMENT
GPM	GALLONS PER MINUTE
GRTG	GRATING
GV	GATE VALVE
H&T	HUB AND TAC
HORIZ	HORIZONTAL
HPT	HIGH POINT
HYD	HYDRANT
ID	INSIDE DIAMETER
IN	INCH
INSUL	INSULATION
INV	INVERT
IP	IRON PIN (FOUND OR SET NOTED)
L	LENGTH, LONG
LF	LINEAL FOOT
LG	LONG
LP	LIGHT POLE
LR	LONG RADIUS
LT	LEFT
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MB	MAIL BOX
MBL	MINIMUM BUILDING LINE

MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MJ	MECHANICAL JOINT
MON	MONUMENT
MTL	METAL
N & C	NAIL AND CAP
NIC	NOT IN CONTRACT
NO	NUMBER
NPW	NON POTABLE WATER
NTS	NOT TO SCALE
OC	ON CENTERS
OD	OUTSIDE DIAMETER
PVMT	PAVEMENT
PC	POINT OF CURVE
PCC	POINT OF COMPOUND CURVE
PER	PERMETER
PERF	PERFORATED
PERP	PERPENDICULAR
PI	POINT OF INTERSECTION
PL	PLATE, PROPERTY LINE
POL	POINT ON LINE
PT	POINT OF TANGENCY
POT	POINT ON TANGENT
PP	POWER POLE
PRC	POINT OF REVERSE CURVE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS, RISER
RR	RAILROAD
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
RDCR	REDUCER
REINF	REINFORCE, REINFORCEMENT
REF	REFERENCE
REL	RELOCATED
REQD	REQUIRED
REV	REVISION
RTE	ROUTE
RT	RIGHT
R/W	RIGHT OF WAY
SS	SANITARY SEWER
SAN	SANITARY
S/W	SIDEWALK
SD	STORM DRAIN
SE	SLOPE EASEMENT
SECT	SECTION
SER	SERVICE
SH	SHEET
SPEC	SPECIFICATION
SPECS	SPECIFICATIONS
SQ	SQUARE
SSTL	STAINLESS STEEL
STR	STREET
STA	STATION
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURAL
SUR	SURVEY
T & B	TOP AND BOTTOM
TELE	TELEPHONE
TEMP	TEMPORARY
THK	THICK
TP	TELEPHONE POLE
TRTD	TREATED
TV	TELEVISION
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UON	UNLESS OTHERWISE NOTED
U.S.C.&G.S	UNITED STATES COAST AND GEODETIC SURVEY
V. VAL	VALVE, VENT
VAR	VARIABLE
VC	VERTICAL CURVE
VERT	VERTICAL
VESCR	VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS
VOL	VOLUME
VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
V.S.D.	VERTICAL SIGHT DISTANCE
W.B.L.	WESTBOUND LANE
W	WIDE FLANGE, WIDE, WASTE, WATER
W/	WITH
WL	WATER LINE
W/O	WITHOUT
WS	WATER SURFACE
WT	WATER TIGHT, WEIGHT
WVDH	WEST VIRGINIA DEPARTMENT OF HIGHWAYS
HOPE	HIGH DENSITY POLYETHYLENE

LEGEND / SYMBOLS

EXISTING	NEW	DESCRIPTION
		BUILDING WITH PORCH OR STOOP
		FOUNDATION ONLY
		CONTOUR, CONTOUR WITH ELEVATION
		SPOT ELEVATION
		CONCRETE CURB
		CONCRETE CURB & GUTTER
		CONCRETE WALK OR SLAB
		PAVEMENT
		UNPAVED OR GRAVEL ROAD
		CONSTRUCTION EASEMENT
		PERMANENT EASEMENT
		TREE LINE
		TREE OR SHRUB
		FENCE (EXISTING OR PROPOSED NOTED)
		CENTERLINE CREEK, SWALE, DITCH
		PROPERTY LINE
		CENTERLINE OR BASELINE
		FIELD SURVEY TRAVERSE POINT
		P.C. OR P.T.
		GEOLOGIC BORE HOLE
		BENCH MARK (EXISTING OR SET NOTED)
		STORM DRAIN AND ENDWALL
		SANITARY SEWER
		FORCE MAIN
		GAS MAIN OR SERVICE LINE
		WATER MAIN OR SERVICE LINE
		OVERHEAD ELECTRICAL LINE
		OVERHEAD TELEPHONE LINE
		UNDERGROUND ELECTRICAL LINE
		UNDERGROUND TELEPHONE LINE
		PIPE FITTINGS
		FIRE HYDRANT
		GATE VALVE
		CLEANOUT
		MANHOLE
		DROP INLET (CURB AND GRATING TYPES)
		WM - WATER METER
		DWM - DOUBLE WATER METER
		TELEPHONE POLE, GUY AND ANCHOR
		POWER POLE, GUY AND ANCHOR
		LIGHT POLE
		TELEPHONE PEDESTAL
		BURIED TELEPHONE VAULT
		PAVED DITCH
		STORM PIPE (SIZE / TYPE NOTED)
		CULVERT WITH FLARED END SECTION
		AIR RELEASE VALVE / VAULT ASSEMBLY
		BLOW OFF VALVE / VAULT ASSEMBLY
		STEEL ENCASEMENT
		CONCRETE ENCASEMENT
		ABANDON OR REMOVE
		LIMITS OF CONSTRUCTION

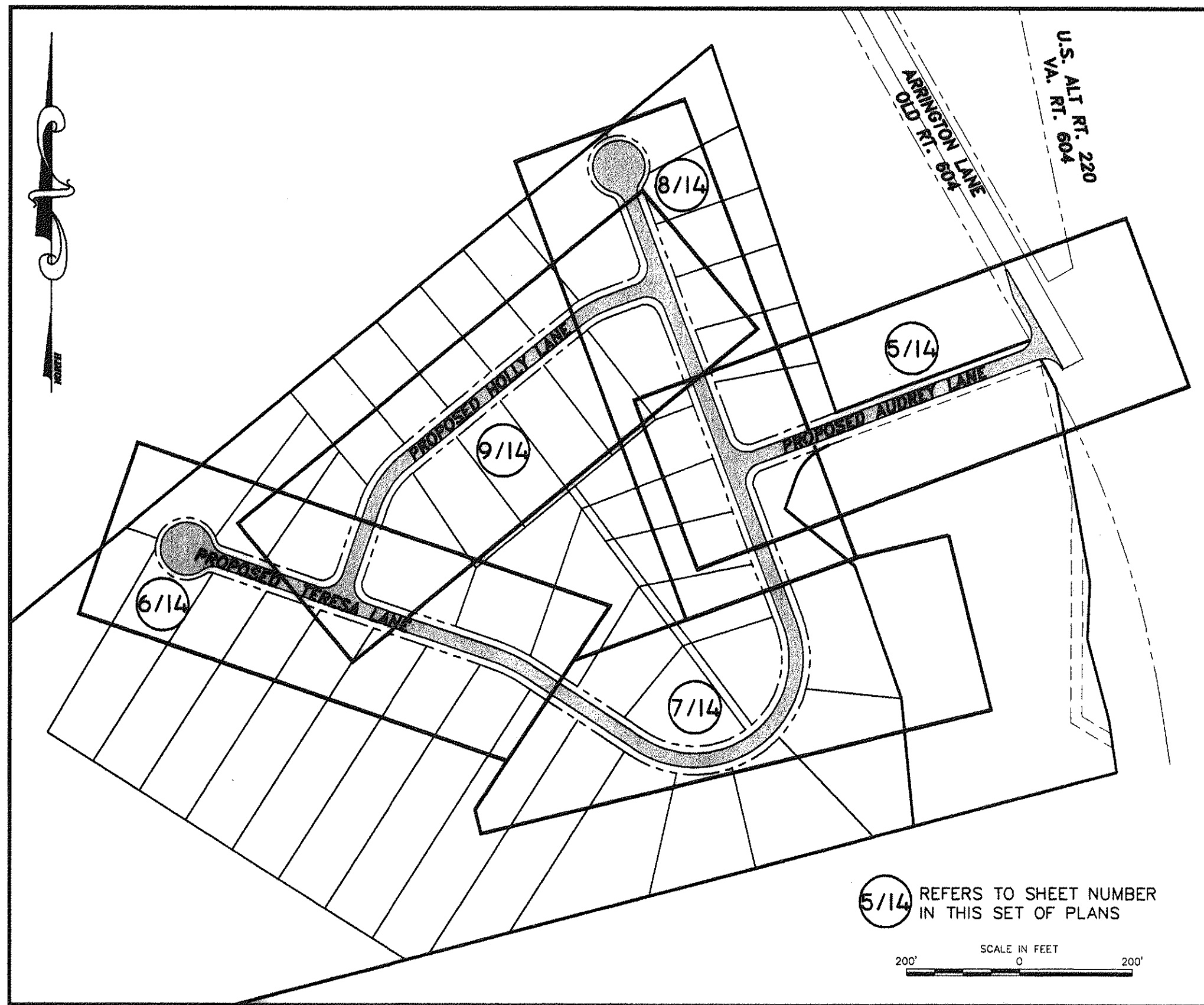
GENERAL NOTES

THE LOCATION OF EXISTING UTILITIES, INCLUDING UNDERGROUND UTILITIES, IS INDICATED ON THE DRAWINGS IN SO FAR AS THEIR EXISTENCE AND LOCATION WERE KNOWN AT THE TIME OF PREPARATION OF THESE DRAWINGS. HOWEVER, NOTHING IN THESE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS A GUARANTEE THAT SUCH UTILITIES ARE IN THE LOCATION INDICATED OR THAT THEY ACTUALLY EXIST OR THAT OTHER UTILITIES ARE NOT WITHIN THE AREA OF OPERATIONS. THE CONTRACTOR SHALL MAKE ALL NECESSARY INVESTIGATIONS TO DETERMINE THE EXISTENCE AND LOCATIONS OF SUCH UTILITIES. THE CONTRACTOR SHALL PAY FOR ANY DAMAGE TO AND FOR MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES.

EXISTING WATER LINE LOCATIONS BOTH HORIZONTAL AND VERTICAL ARE APPROXIMATE. THE LOCATION IS NOT THE RESULT OF A FIELD SURVEY.

THE CONTRACTOR IS DIRECTED TO DIG AND LOCATE ALL UTILITIES IN ADVANCE OF PIPELAYING TO ALLOW FOR ADJUSTMENTS DUE TO CONFLICTS WITH EXISTING UTILITIES. SHOULD A CONFLICT ARISE THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY.

THE CONTRACTOR IS REQUIRED TO NOTIFY "MISS UTILITY" AT 1-800-552-7001 AT LEAST TWO, BUT NOT MORE THAN TEN, WORKING DAYS IN ADVANCE OF CONSTRUCTION.



PLAN & PROFILE KEY PLAN  
SCALE: 1" = 200'

MOUNTAIN CREST  
LOCATED IN  
BOTETOURT COUNTY, VIRGINIA

LMW P.C.  
ENGINEERING-ARCHITECTURE-SURVEYING  
102 ALBEMARLE AVE., S.E.  
ROANOKE, VIRGINIA 24013  
(540) 342-0675  
FAX (540) 342-4456

DATE	DESCRIPTION	BY
8/26/99	DDW	

DOUGLAS R. WEREDITH, JR.  
Professional Engineer  
No. 22942  
8-27-99

Designed By	RCW
Drawn By	DJB
Checked By	RCW
Approved By	DRM
Submitted By	DRM
Drawing	1809ABBR.
Date	05/26/99
Scale	AS NOTED
Commission No.	1809



VIRGINIA DEPARTMENT OF TRANSPORTATION NOTES:

1. QUALITY CONTROL

STREETS TO BE GRADED, PAVED AND ALL STRUCTURAL COMPONENTS ERECTED IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS AND ROAD DESIGN STANDARDS, VIRGINIA DEPARTMENT OF TRANSPORTATION, VIRGINIA DESIGN STANDARDS AND SPECIFICATIONS. ALL MATERIALS USED SHALL BE TESTED IN ACCORDANCE WITH STANDARD POLICIES. THE DEVELOPER MUST CONTACT THE OFFICE OF THE RESIDENT ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION AT WHICH TIME AN INSPECTION AND TESTING PROCEDURE POLICY WILL BE DRAWN. THE DEVELOPER WILL PRODUCE TEXT REPORTS FROM APPROVED INDEPENDENT LABORATORIES AT THE DEVELOPER'S EXPENSE.

THE PAVEMENT DESIGNS SHOWN ARE BASED ON A SUBGRADE CBR VALUE OF 10 OR GREATER. THE SUBGRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY AND THE RESULTS SUBMITTED TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO BASE CONSTRUCTION. SHOULD THE SUBGRADE CBR VALUES BE LESS THAN 10, THEN ADDITIONAL BASE MATERIAL WILL BE REQUIRED IN ACCORDANCE WITH DEPARTMENTAL SPECIFICATIONS.

THE SUBGRADE MUST BE APPROVED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO PLACEMENT OF THE BASE. BASE MUST BE APPROVED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION FOR DEPTH, TEMPLATE AND COMPACTION BEFORE SURFACE IS APPLIED.

2. UTILITIES

ALL NECESSARY UTILITY LATERALS ALONG WITH PROVISIONS FOR CONDUITS (I.E. WATER, SEWER, STORM, GAS, AND TELEPHONE) WILL BE CONSTRUCTED PRIOR TO PLACEMENT OF BASE MATERIAL.

GAS OR PETROLEUM TRANSMISSION LINES WILL NOT BE PERMITTED WITHIN THE PAVEMENT OR SHOULDER ELEMENT (BACK OF CURB TO BACK OF CURB) OF THIS DEVELOPMENT. SERVICE LATERALS CROSSING AND PIPE LINES LOCATED OUTSIDE THE PAVEMENT, BUT INSIDE THE RIGHT OF WAY, WILL BE CONSTRUCTED IN CONFORMITY WITH ASA B 31.8 SPECIFICATIONS AND SAFETY REGULATIONS. DISTRIBUTION LINES WITH PRESSURES LESS THAN 120 LBS. ARE UNAFFECTED BY THE ABOVE.

PERMITS WILL BE REQUIRED FOR ALL UTILITIES WITHIN STREET RIGHT OF WAY PRIOR TO ACCEPTANCE INTO THE SECONDARY HIGHWAY SYSTEM.

ANY EASEMENTS GRANTED TO A UTILITY COMPANY FOR PLACEMENT OF POWER, TELEPHONE, ETC. MUST BE RELEASED PRIOR TO ACCEPTANCE.

3. PRIVATE ENTRANCES

DRIVEWAYS CONNECTING TO ROADS WITHOUT CURB & GUTTER SHALL CONFORM TO THE PAVEMENT, SHOULDER & SLOPE.

PERMITS WILL BE REQUIRED FOR ALL PRIVATE ENTRANCES CONSTRUCTED ON STREET RIGHTS-OF-WAY AFTER ACCEPTANCE INTO THE SECONDARY HIGHWAY SYSTEM.

4. EROSION CONTROL AND LANDSCAPING

CARE MUST BE TAKEN DURING CONSTRUCTION TO PREVENT EROSION, DUST AND MUD FROM DAMAGING ADJACENT PROPERTY, CLOGGING DITCHES, STREAKING PUBLIC STREETS AND OTHERWISE CREATING A PUBLIC OR PRIVATE NUISANCE TO SURROUNDING AREAS.

THE ENTIRE CONSTRUCTION AREA INCLUDING DITCHES, CHANNELS, BACK OF CURBS AND OR PAVEMENT ARE TO BE BACKFILLED AND SEEDED WITHIN 7 DAYS AFTER COMPLETING FINAL GRADING.

DRAINAGE EASEMENTS MUST BE DEFINED BY EXCAVATED DITCHES OR CHANNELS FOR THEIR FULL LENGTH TO WELL DEFINED EXISTING NATURAL WATERCOURSES.

THE ROAD WILL BE REVIEWED DURING CONSTRUCTION FOR THE NEED OF PAVED DITCHES. IF EROSION IS ENCOUNTERED IN ANY DRAINAGE EASEMENT, IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER TO SOD, RIP RAP, GROUT, PAVE, OR TO DO WHATEVER IS NECESSARY TO CORRECT THE PROBLEM.

ALL VEGETATION AND OVERBURDEN TO BE REMOVED FROM SHOULDER TO SHOULDER PRIOR TO THE CONDITIONING (CUTTING AND/OR PREPARATION) OF THE SUBGRADE.

5. INTERSECTION PAVEMENT RADIUS

MINIMUM PAVEMENT RADIUS OF 35 FEET IS REQUIRED AT ALL STREET INTERSECTIONS.

6. CONNECTIONS TO STATE-MAINTAINED ROADS

WHILE THESE PLANS HAVE BEEN APPROVED, SUCH APPROVAL DOES NOT EXEMPT CONNECTIONS WITH EXISTING STATE-MAINTAINED ROADS FROM CRITICAL REVIEW AT THE TIME PERMIT APPLICATIONS ARE MADE. THIS IS NECESSARY IN ORDER THAT THE PREVAILING CONDITIONS BE TAKEN INTO CONSIDERATION REGARDING SAFETY ACCOMPANIMENTS SUCH AS TURNING LANES.

7. GUARDRAILS

STANDARD GUARDRAIL WITH SAFETY END SECTIONS MAY BE REQUIRED ON FILLS AS DEEMED NECESSARY BY THE RESIDENT ENGINEER. AFTER COMPLETION OF ROUGH GRADING OPERATIONS, THE OFFICE OF THE RESIDENT ENGINEER SHALL BE NOTIFIED SO THAT A FIELD REVIEW MAY BE MADE OF THE PROPOSED LOCATIONS.

WHERE GUARDRAILS ARE TO BE INSTALLED, THE SHOULDER WIDTH SHALL BE INCREASED IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS.

8. ENTRANCE PERMIT

CONTRACTOR SHALL OBTAIN ENTRANCE PERMIT TO THE EXISTING VIRGINIA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY FROM RESIDENT ENGINEER PRIOR TO ROAD CONSTRUCTION.

9. INSPECTION

AN INSPECTOR WILL NOT BE FURNISHED EXCEPT FOR PERIODIC PROGRESS INSPECTION, THE ABOVE MENTIONED FIELD REVIEWS AND CHECKING FOR REQUIRED STONE DEPTHS. THE DEVELOPER WILL BE REQUIRED TO POST A SURETY TO GUARANTEE THE ROAD FREE OF DEFECTS FOR ONE YEAR AFTER ACCEPTANCE BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION.

10. STREET MAINTENANCE

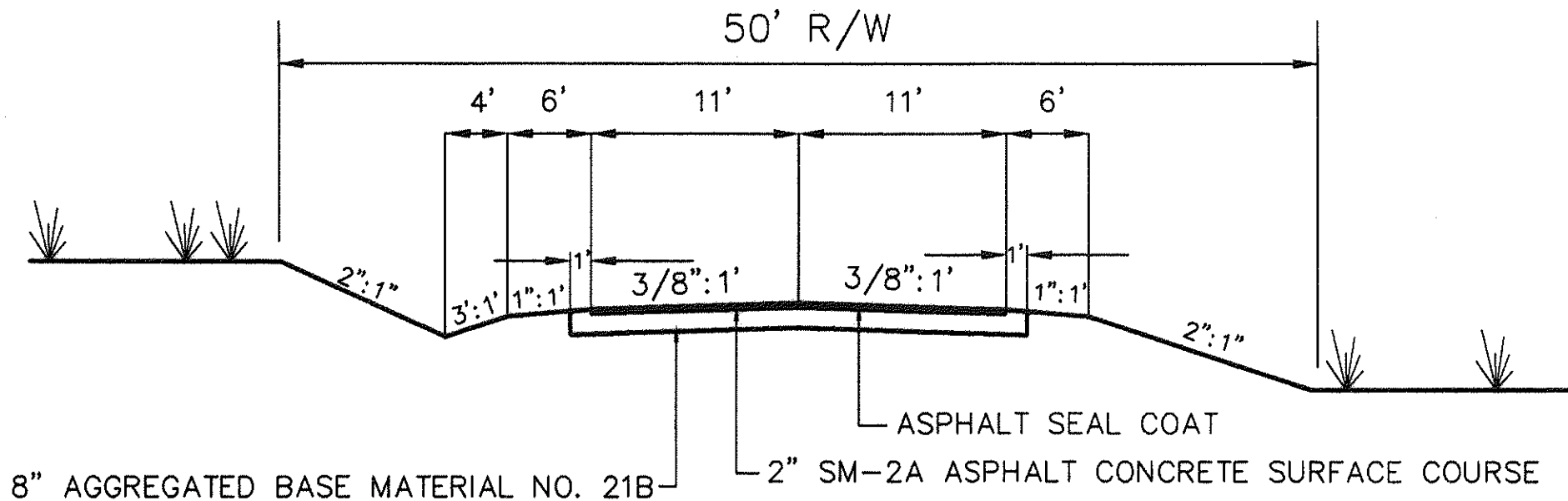
THE STREETS MUST BE PROPERLY MAINTAINED UNTIL ACCEPTANCE. AT SUCH TIME AS ALL REQUIREMENTS HAVE BEEN MET FOR ACCEPTANCE, ANOTHER INSPECTION WILL BE MADE TO DETERMINE THAT THE STREET HAS BEEN PROPERLY MAINTAINED.

11. UNDERGROUND UTILITIES

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK BY CONTACTING MISS UTILITY. CONTACT CONSULTING ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS. IF THERE APPEARS TO BE A CONFLICT AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL "MISS UTILITY" OF CENTRAL VIRGINIA AT 1-800-552-7001.

12. REVISIONS OF SPECIFICATIONS AND STANDARDS

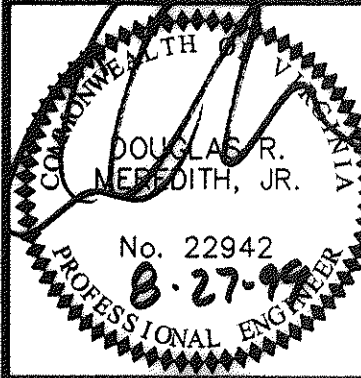
APPROVAL OF THESE PLANS WILL BE BASED ON SPECIFICATIONS AND STANDARDS IN EFFECT AT THE TIME OF APPROVAL AND WILL BE SUBJECT, UNTIL COMPLETION OF THE ROADWAY AND ACCEPTANCE BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION, TO FUTURE REVISIONS OF THE SPECIFICATIONS AND STANDARDS.



AUDREY LANE, TERESA LANE & HOLLY LANE  
TYPICAL PAVEMENT SECTION  
NO SCALE

MOUNTAIN CREST SUBDIVISION  
LOCATED IN  
BOTETOURT COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION	BY
1	8/26/99	VDOT & BOTETOURT CITY COMMENTS	DJB



Designed By	RCW
Drawn By	DJB/JDC
Checked By	RCW
Approved By	RCW
Submitted By	RCW
Drawing	1809TRAN.DWG
Date	05/26/99
Scale	NONE
Commission No.	1809
Sheet	3 of 14

LMW P.C.  
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ROANOKE, VIRGINIA 24015  
(540) 345-0675  
FAX (540) 342-4456




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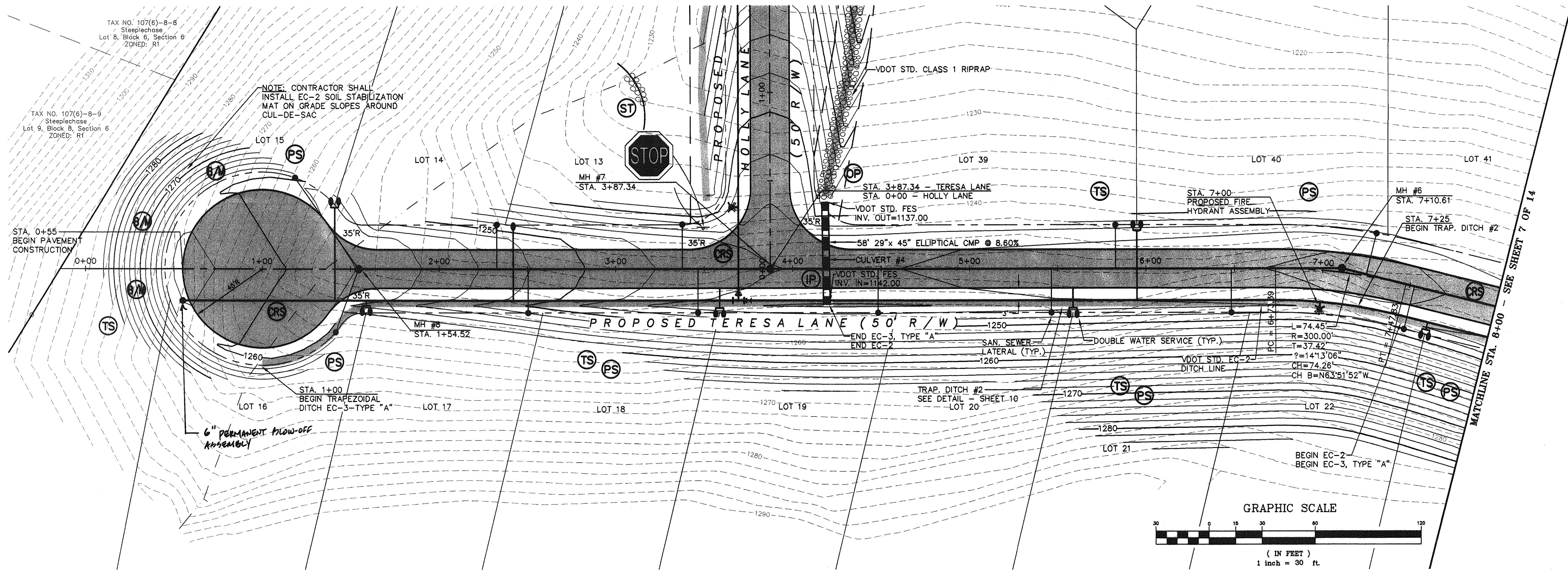




PROPOSED AUDREY LANE - PROFILE

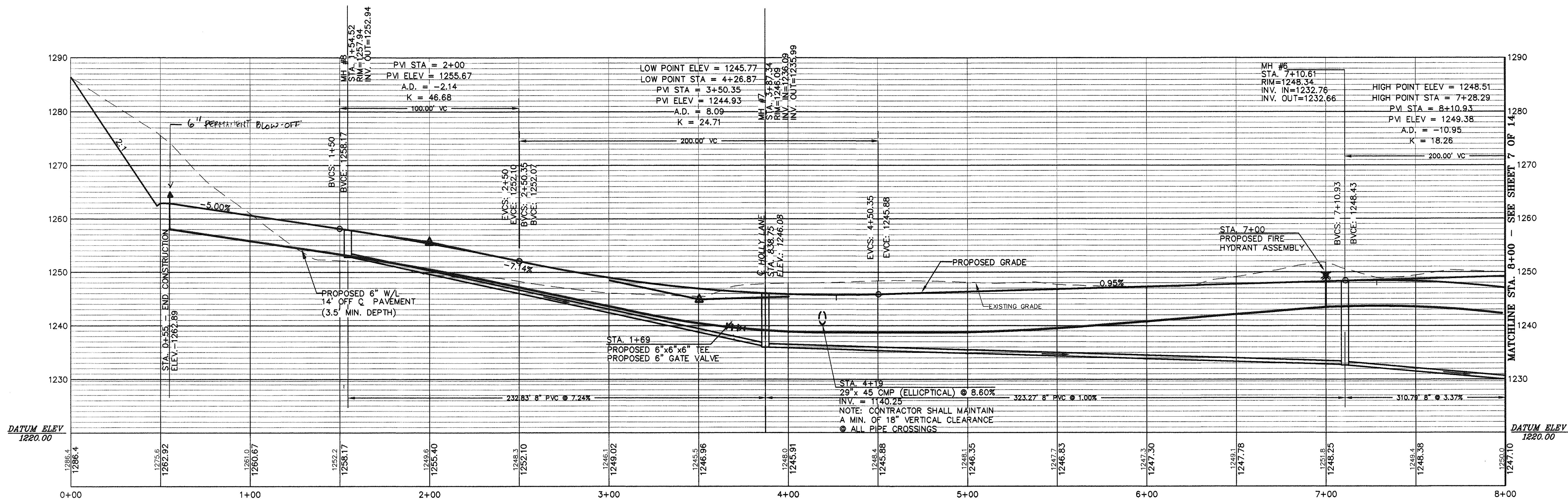
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Commission No.	1809	
Scale	AS NOTED	
Date	05/26/99	
Drawing	1809DESIGN	
Submitted By	RCW	
Approved By	RCW	
Checked By	RCW	
Drawn By	DDW	
Designed By	DDW/RCW	
		
<p>PROPOSED AUDREY LANE PLAN &amp; PROFILE</p>		
BY	DESCRIPTION	DATE
DDW	ROOT & BOTEJOURT CTY. COMMENTS	8/26/99
DDW	ROOT & BOTEJOURT CTY. COMMENTS	9/27/99
DDW	ROOT & BOTEJOURT CTY. COMMENTS	10/18/99
DDW	ROOT & BOTEJOURT CTY. COMMENTS	3/10/18/99
DDW	ROOT & BOTEJOURT CTY. COMMENTS	11/18/99
DDW	ROOT & BOTEJOURT CTY. COMMENTS	12/18/99





PROPOSED TERESA LANE STA. 0+00 TO 8+00 - PLAN VIEW

NOTE:  
REFER TO SHEET NO. 10 OF 14 FOR  
ROADSIDE DITCH TYPICAL SECTIONS



**LMWP.C.**

ENGINEERING - ARCHITECTURE - SURVEYING  
102 ALBEMARLE AVE., S.E.  
ROANOKE, VIRGINIA 24013  
TEL (540) 345-0675  
FAX (540) 342-4456

MOUNTAIN CREST  
LOCATED IN  
BOTETOURT COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION	BY
3	10/18/99	BOTETOURT CITY COMMENTS	DDW
2	9/27/99	WOT & BOTETOURT CITY COMMENTS	DDW
1	8/29/99	WOT & BOTETOURT CITY COMMENTS	DDW

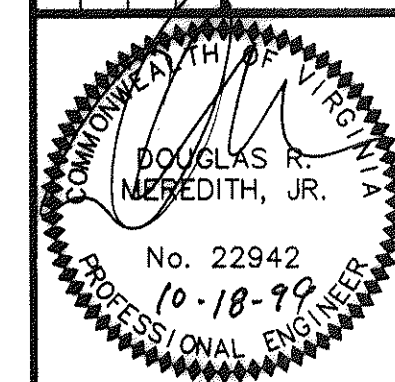
PROPOSED TERESA DRIVE  
STATION 0+00 TO 8+00  
PLAN & PROFILE

No. 22942  
10-18-99  
PROFESSIONAL ENGINEER

Designed By	DDW/RCW
Drawn By	DDW
Checked By	RCW
Approved By	DRM
Submitted By	DRM
Drawing	1809DESIGN
Date	05/26/99
Scale	AS NOTED
Commission No.	1809
Sheet	6 of 14

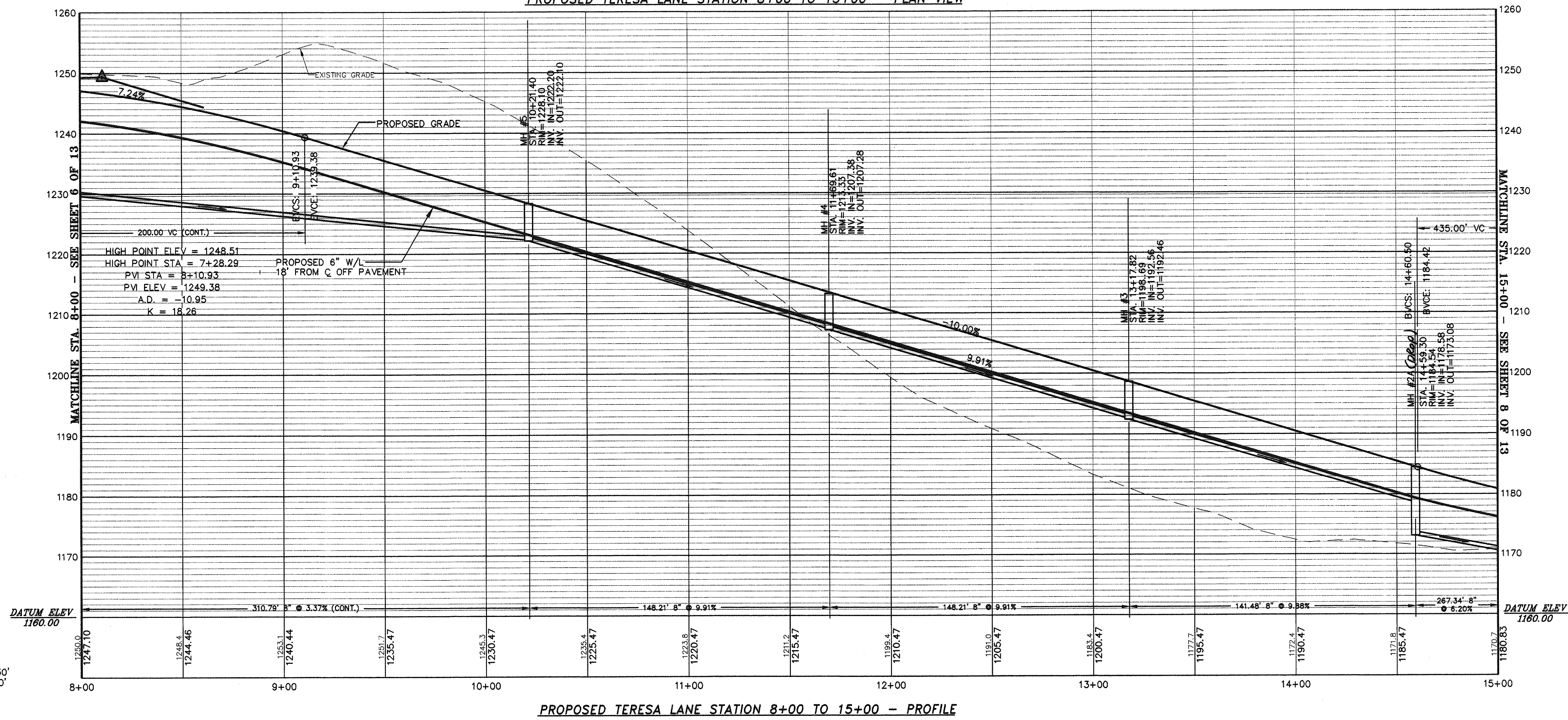
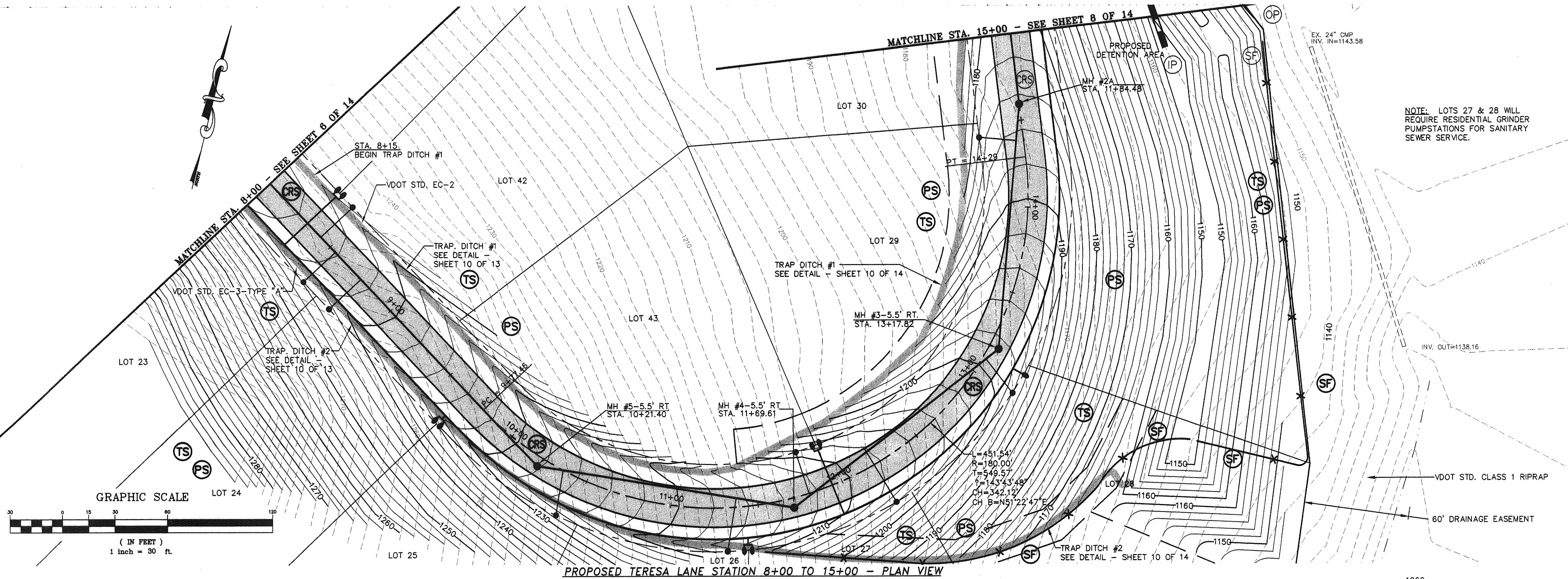


NO.	DATE	DESCRIPTION	BY
2	10/18/99	BOTETOURT CTY. COMMENTS	DDW
1	8/26/99	NOT & BOTETOURT CTY. COMMENTS	DDW



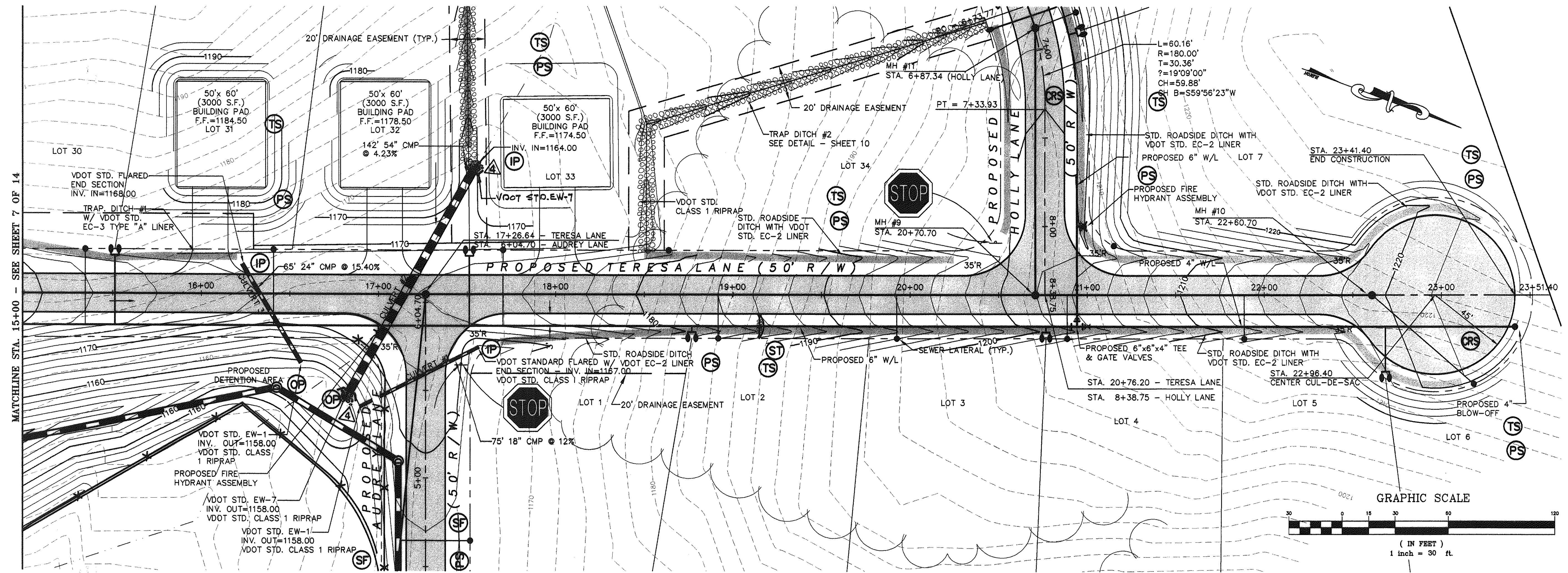
Designed By	DDW/RCW
Drawn By	DDW
Checked By	RCW
Approved By	DRM
Submitted By	DRM
Drawing	1809DESIGN
Date	05/26/99
Scale	AS NOTED
Commission No.	1809
Sheet	7 of 14

NOTE: LOTS 27 & 28 WILL REQUIRE RESIDENTIAL GRINDER PUMPSTATIONS FOR SANITARY SEWER SERVICE.

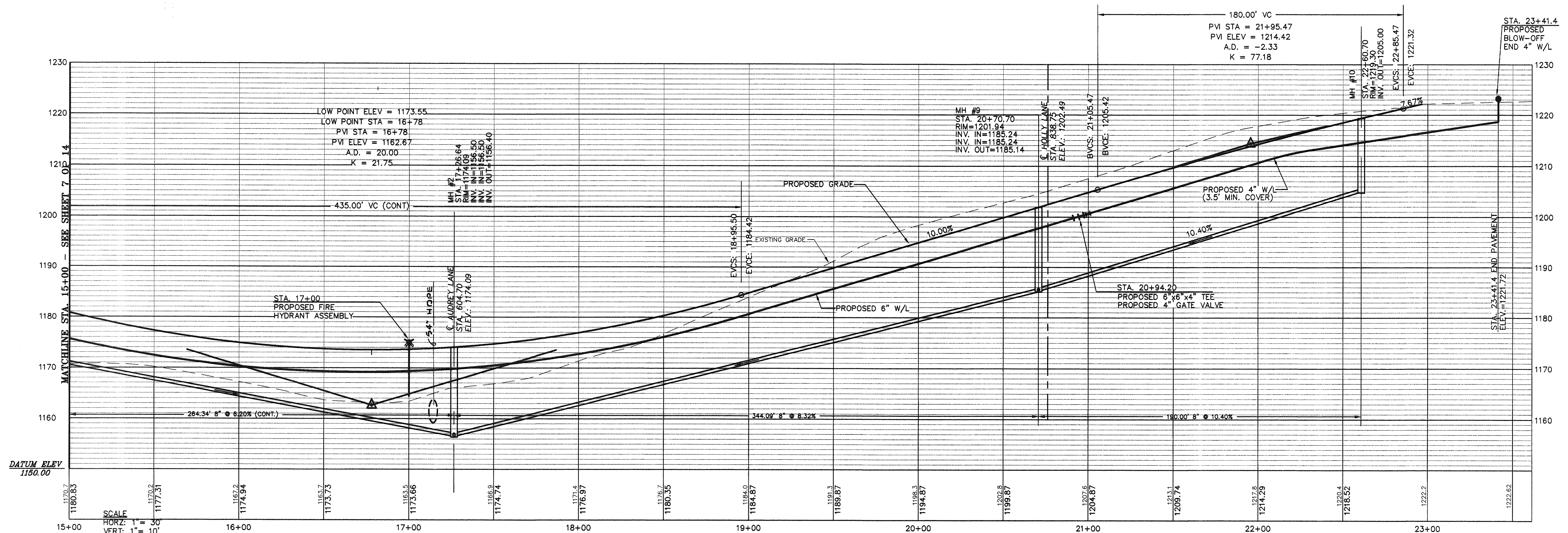


SCALE  
 HORZ: 1" = 30'  
 VERT: 1" = 10'





PROPOSED TERESA LANE STATION 15+00 TO 23+51.40 - PLAN VIEW



PROPOSED TERESA LANE STATION 15+00 TO 23+51.40 - PROFILE

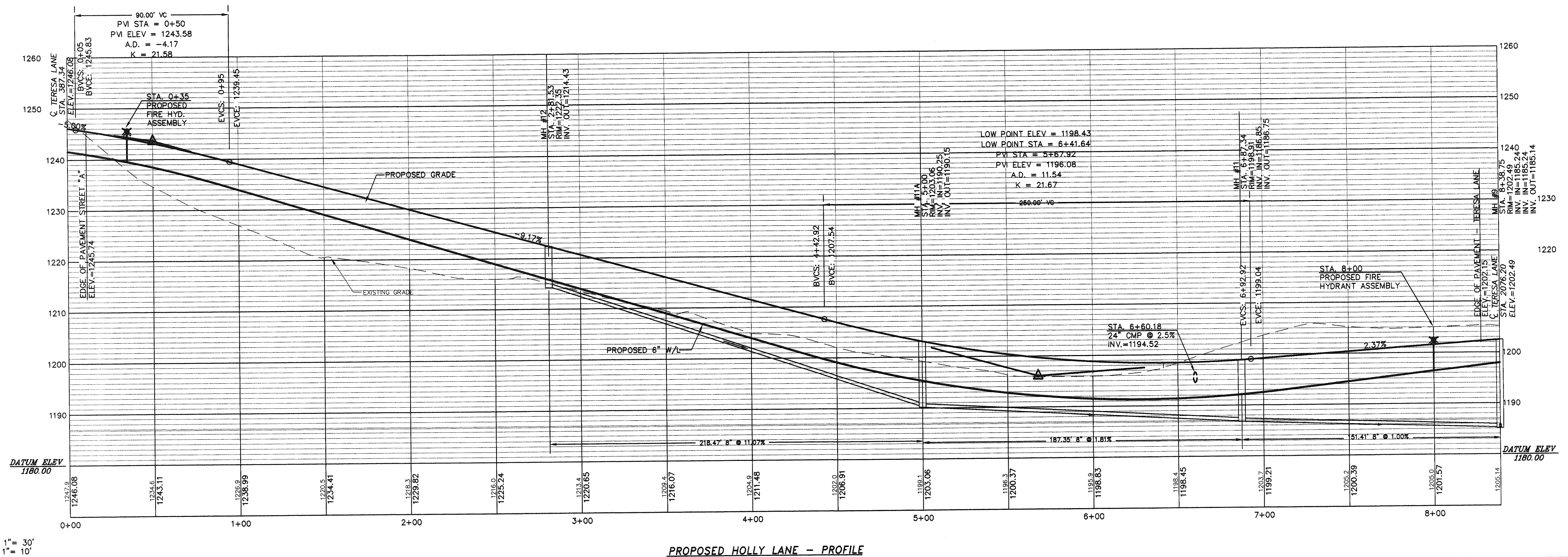
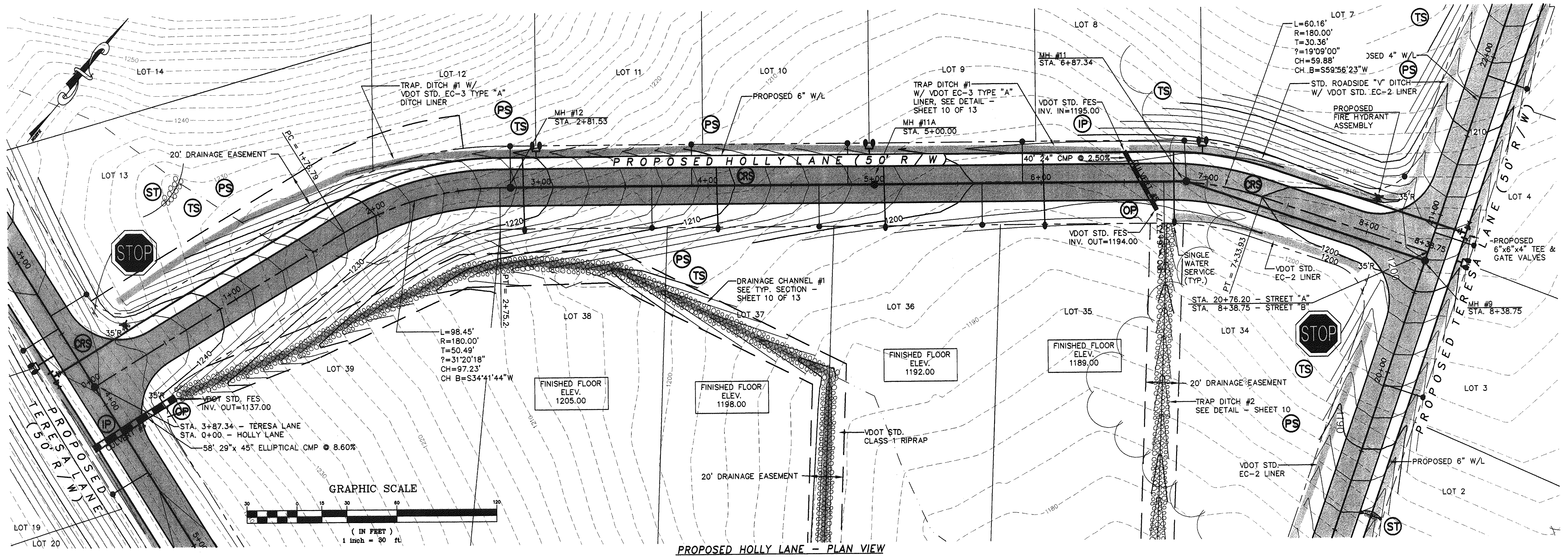
**LMW P.C.**  
ENGINEERING ARCHITECTURE SURVEYING  
102 ADEMARLE AVE., S.E.  
ROANOKE, VIRGINIA 24013  
(540) 345-0675  
FAX (540) 345-4456

MOUNTAIN CREST  
LOCATED IN  
BOTETOURT COUNTY, VIRGINIA

11/18/99 VDOT COMMENTS		DATE	BY
3	10/18/99 BOTETOURT CTY. COMMENTS	DDW	DDW
2	9/27/99 VDOT & BOTETOURT CTY. COMMENTS	DDW	DDW
1	8/26/99 VDOT & BOTETOURT CTY. COMMENTS	DDW	DDW
NO.	DATE	DESCRIPTION	BY
1		PROPOSED TERESA LANE	
		STATION 15+00 TO 23+51.40	
		PLAN & PROFILE	

Designed By DDW/RCW  
 Drawn By DDW  
 Checked By RCW  
 Approved By DRM  
 Submitted By DRM  
 Drawing 1809DESIGN  
 Date 05/26/99  
 Scale AS NOTED  
 Commission No. 1809  
 Sheet 8 of 14





**LMWP.C.**  
ENGINEERING - ARCHITECTURE - SURVEYING

102 ALBEMARLE AVE., S.E.  
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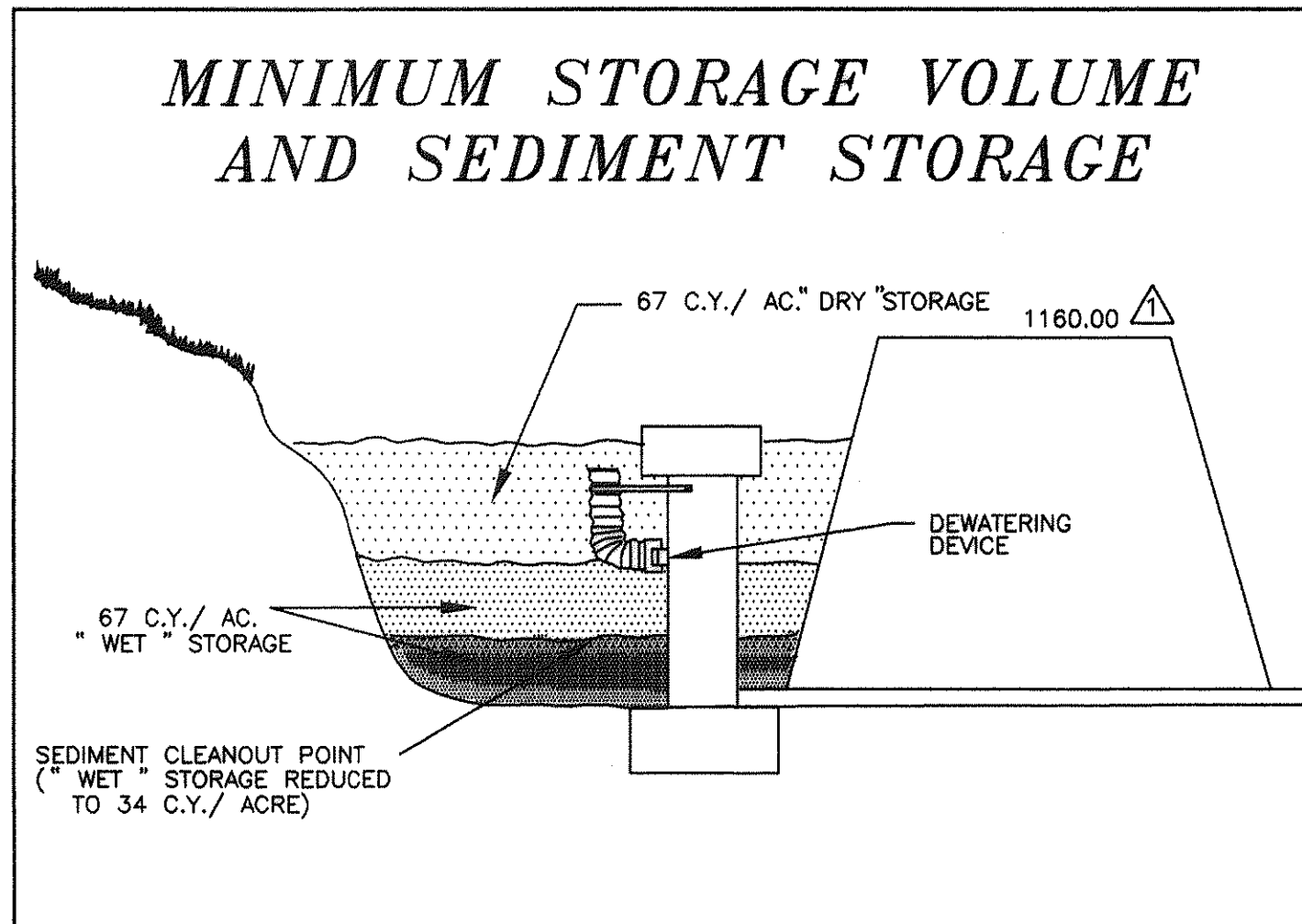
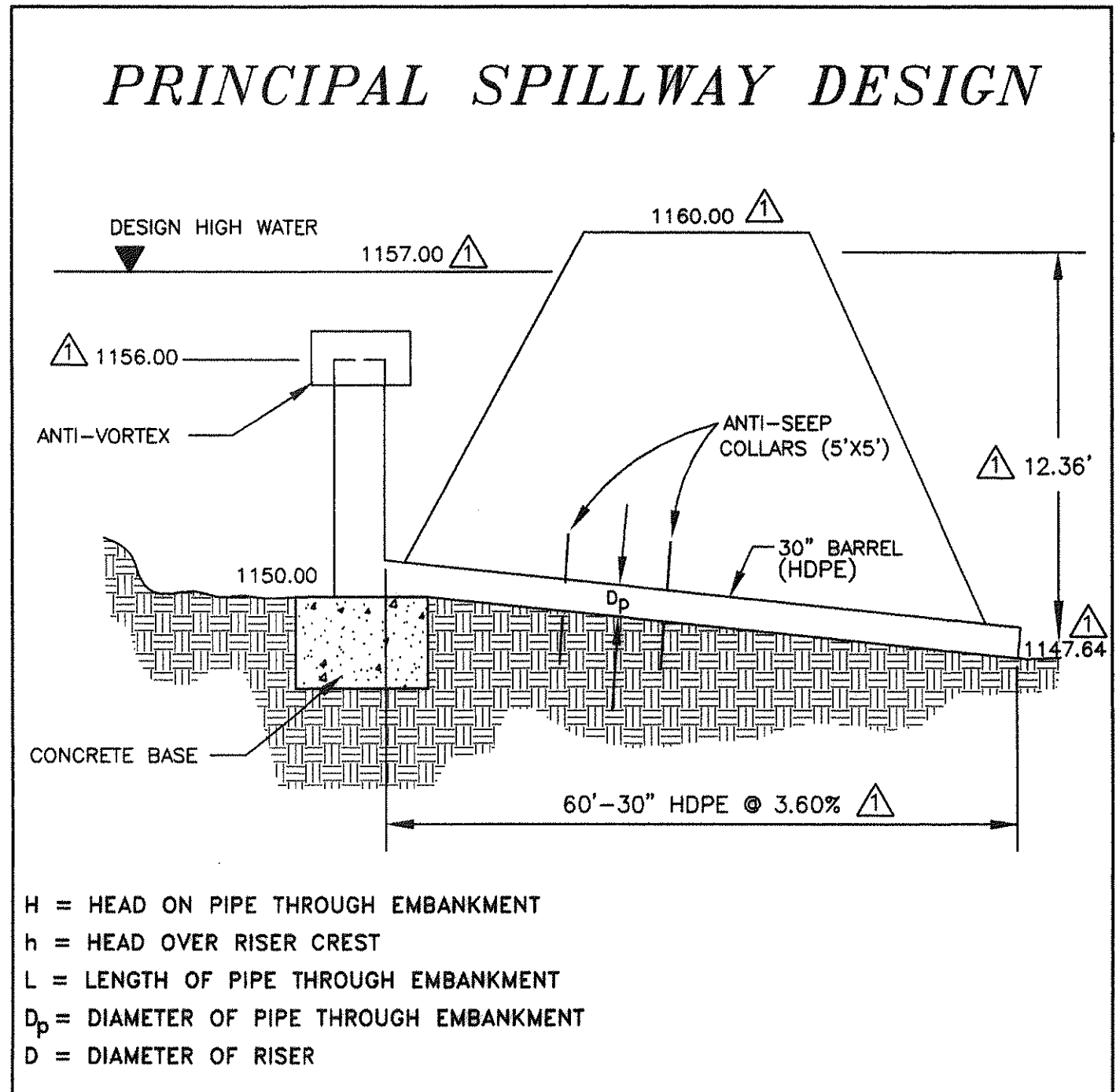
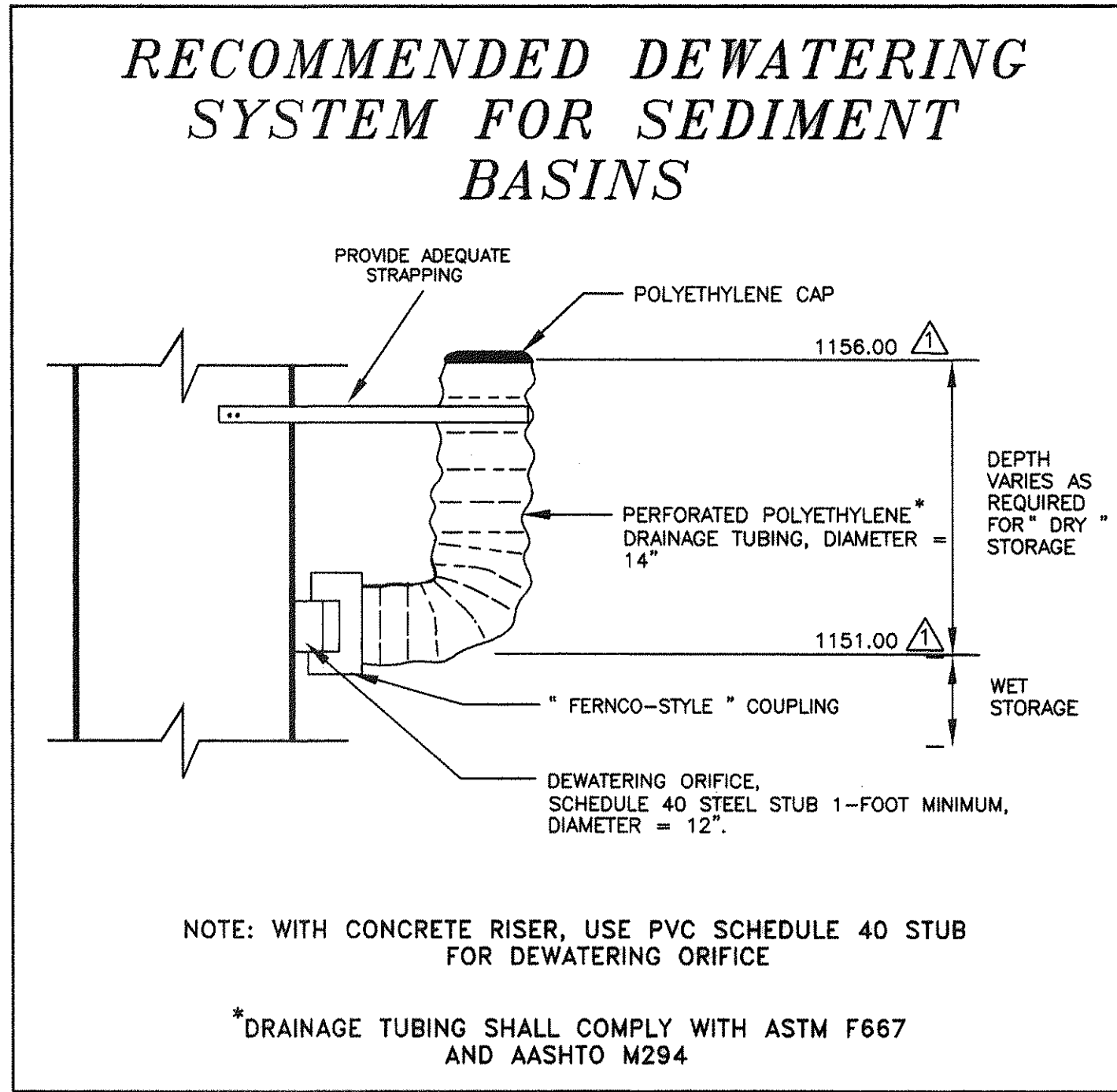
**MOUNTAIN CREST**  
**LOCATED IN**  
**BOTETOURT COUNTY, VIRGINIA**

NO.	DATE	DESCRIPTION	DDW	BY
1	8/26/99	DDW	DDW	DDW
2	10/18/99	DDW	DDW	DDW

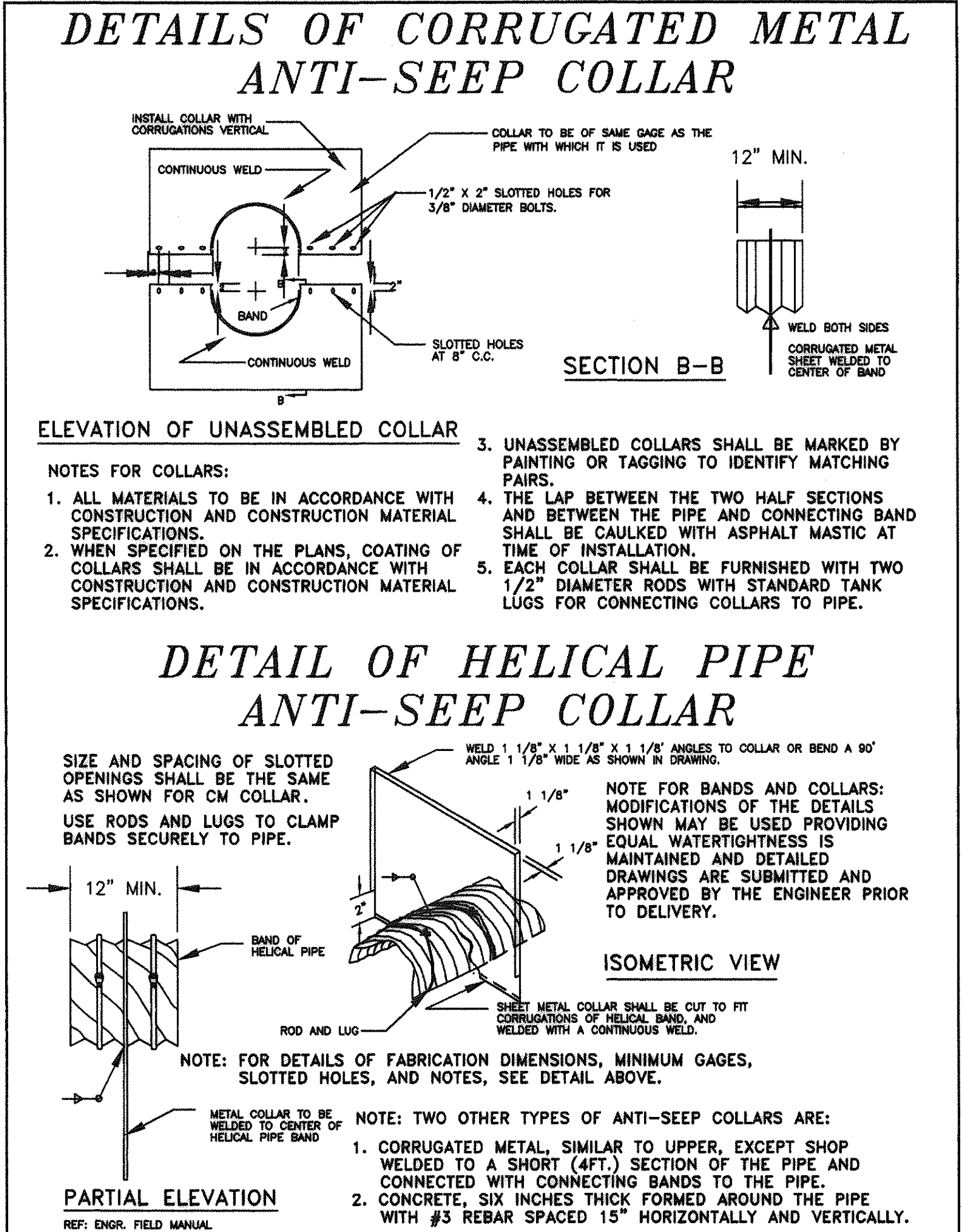
**PROPOSED HOLLY LANE**  
**PLAN & PROFILE**

**DESIGNED BY** DDW/RCW  
**DRAWN BY** DDW  
**CHECKED BY** RCW  
**APPROVED BY** DRM  
**SUBMITTED BY** DRM  
**DRAWING** 1809DESIGN  
**DATE** 05/26/99  
**SCALE** AS NOTED  
**COMMISSION NO.** 1809  
**SHEET** 9 of 14





1992



#### NORTH AMERICAN GREEN CHANNEL PROTECTION MATERIAL SPECIFICATIONS

C350 Specification

North American Green C350 permanent erosion control/turf reinforcement mat is constructed of 100% coconut fiber stitch bonded between a heavy duty UV stabilized bottom net, and a heavy duty UV stabilized cusped (crimped) middle netting overlaid with a heavy duty UV stabilized top net. The cusped netting forms prominent closely spaced ridges across the entire width of the mat. The three nettings are stitched together on 1.5 in (3.8 cm) centers with UV stabilized polypropylene thread to form a permanent three dimensional structure. The following list contains further physical properties of the C350 Erosion Control/Turf Reinforcement Mat.

Property	Test Method	Value	Unit
Ground Cover	Image Analysis	93	%
Thickness	ASTM D1777	.63 (1.6)	in (cm)
Mass Per Unit Area	ASTM D3776	.92 (.50)	lb/sy (kg/m <sup>2</sup> )
Tensile Strength	ASTM D5035	480 (714)	lb/ft (kg/m)
Elongation	ASTM D5035	49	%
Tensile Strength	ASTM D5035	960 (1429)	lb/ft (kg/m)
Elongation	ASTM D5035	31	%
Tensile Strength	ASTM D1682	177 (80)	lbs (kg)
Elongation	ASTM D1682	22	%
Resiliency	ASTM D1777	>80	%
UV Stability*	ASTM D4355	151 (68)	lbs (kg)
		86	%
Color(permanent net)		UV Black	
Porosity(permanent net)	Calculated	>95	%
Minimum Filament Diameter (permanent net)	Measured	.03 (.08)	in (cm)

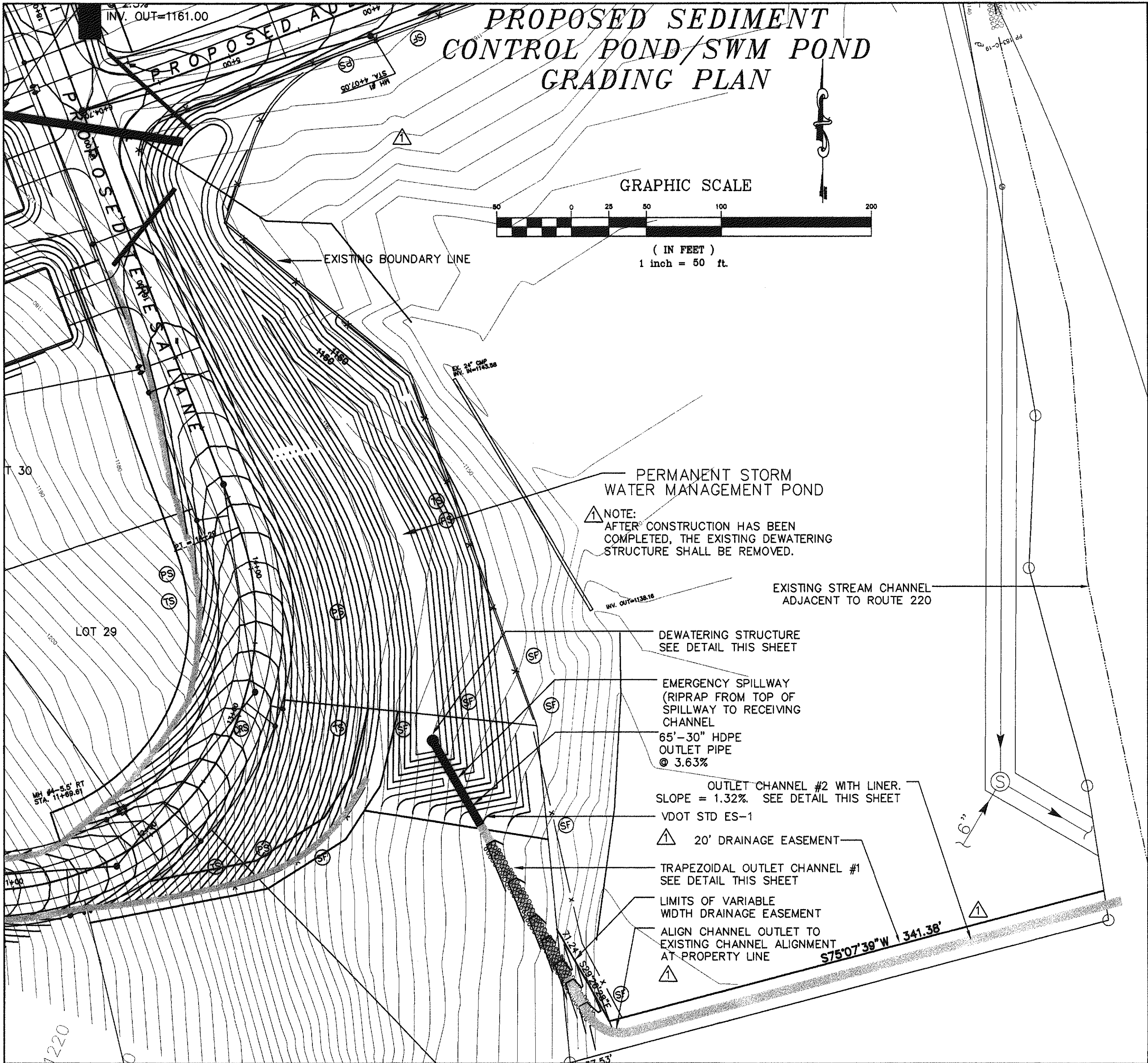
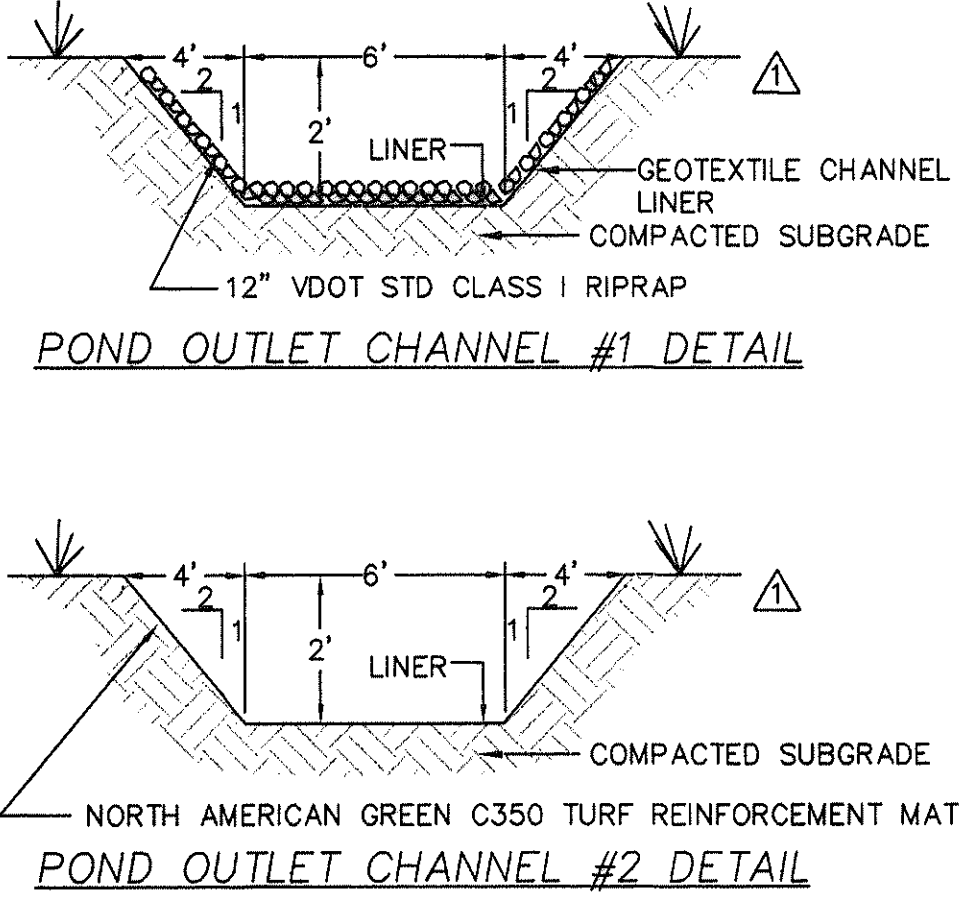
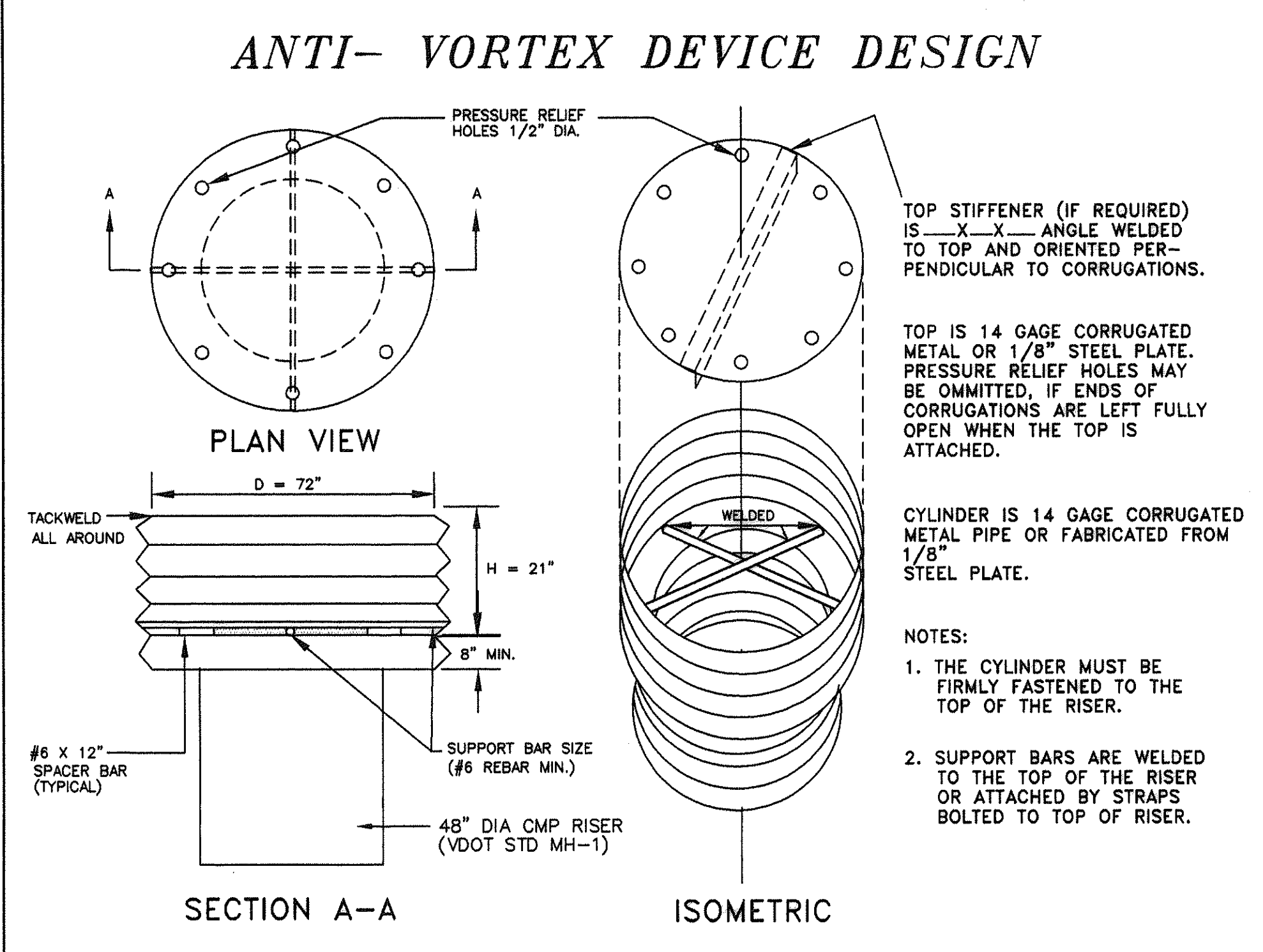
\*ASTM D1682 Tensile Strength and % Strength Retention of material after 1000 hours of exposure in Xenon-Arc Weatherometer

Physical Specifications (Roll)	
Width	6.5 feet (2 m)
Length	55.5 feet (16.9 m)
Weight	37 lbs +/- 10% (16.8kg)
Area	40 yd <sup>2</sup> (33.4 m <sup>2</sup> )

3.14

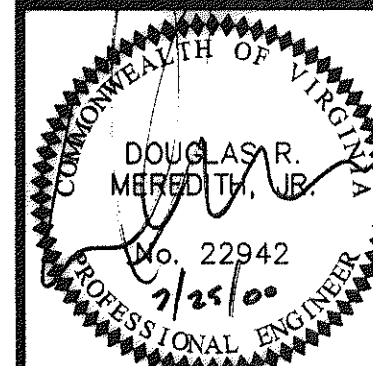
SOURCE: USDA-SCS

PLATE: 3.14-10



MOUNTAIN CREST  
LOCATED IN  
BOTETOURT COUNTY, VIRGINIA

NO.	DATE	REVISION	BY	DESCRIPTION
1	5/2/00	REVISE POND PER F. HANCOCK	DMC	SEDIMENT POND OUTLET STRUCTURE DETAILS



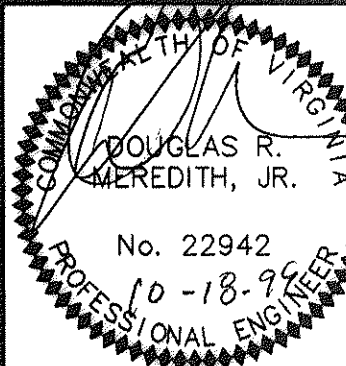
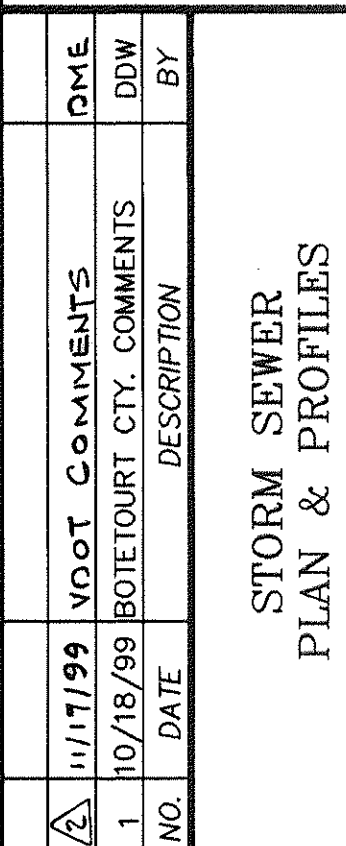
Designed By	RCW
Drawn By	DJB
Checked By	DMZ
Approved By	DRM
Submitted By	DRM
Drawing	1809 POND
Date	7/25/00
Scale	AS NOTED
Commission No.	1809
Sheet	10 of 13

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MOUNTAIN CREST  
LOCATED IN  
BOTETOURT COUNTY, VIRGINIA



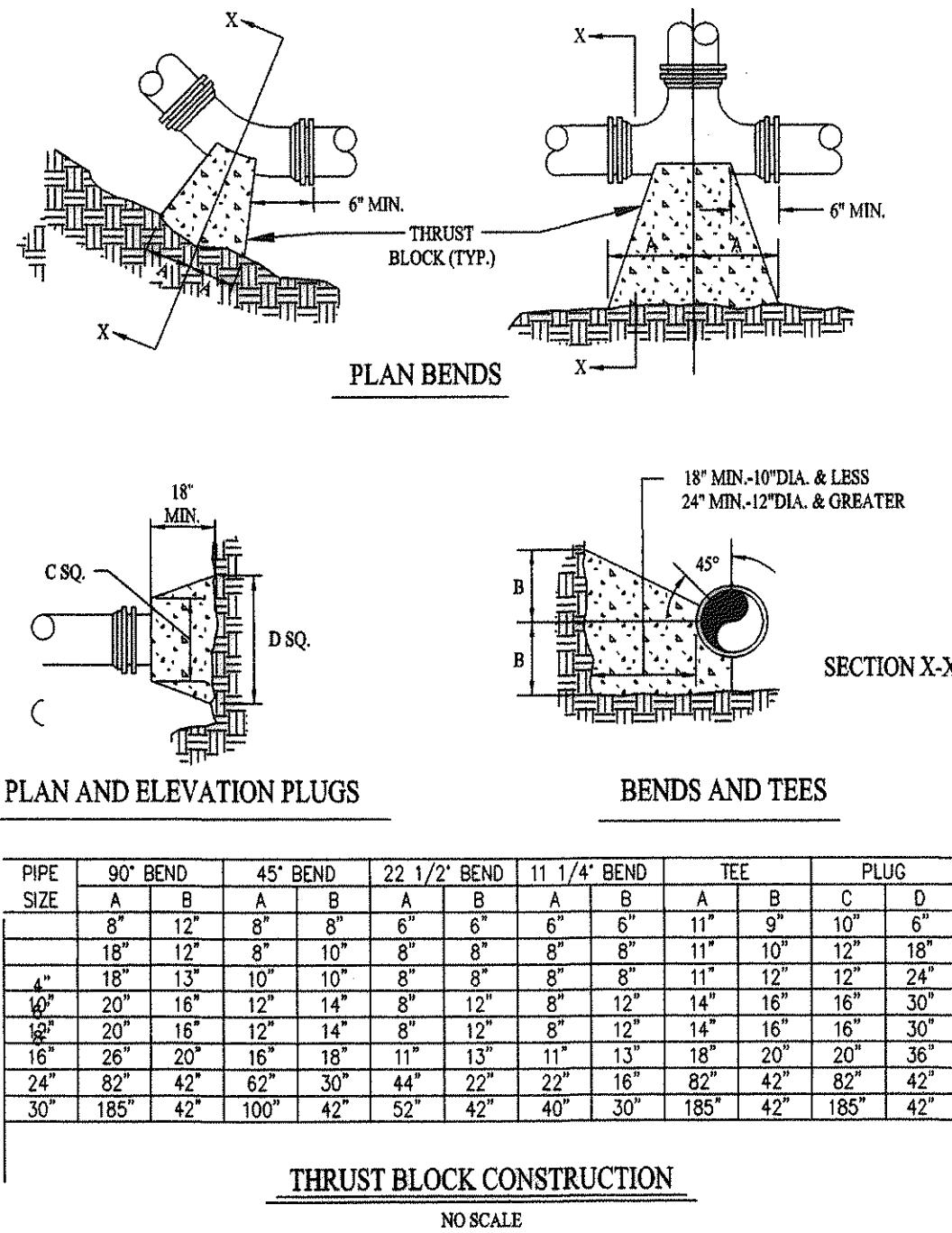
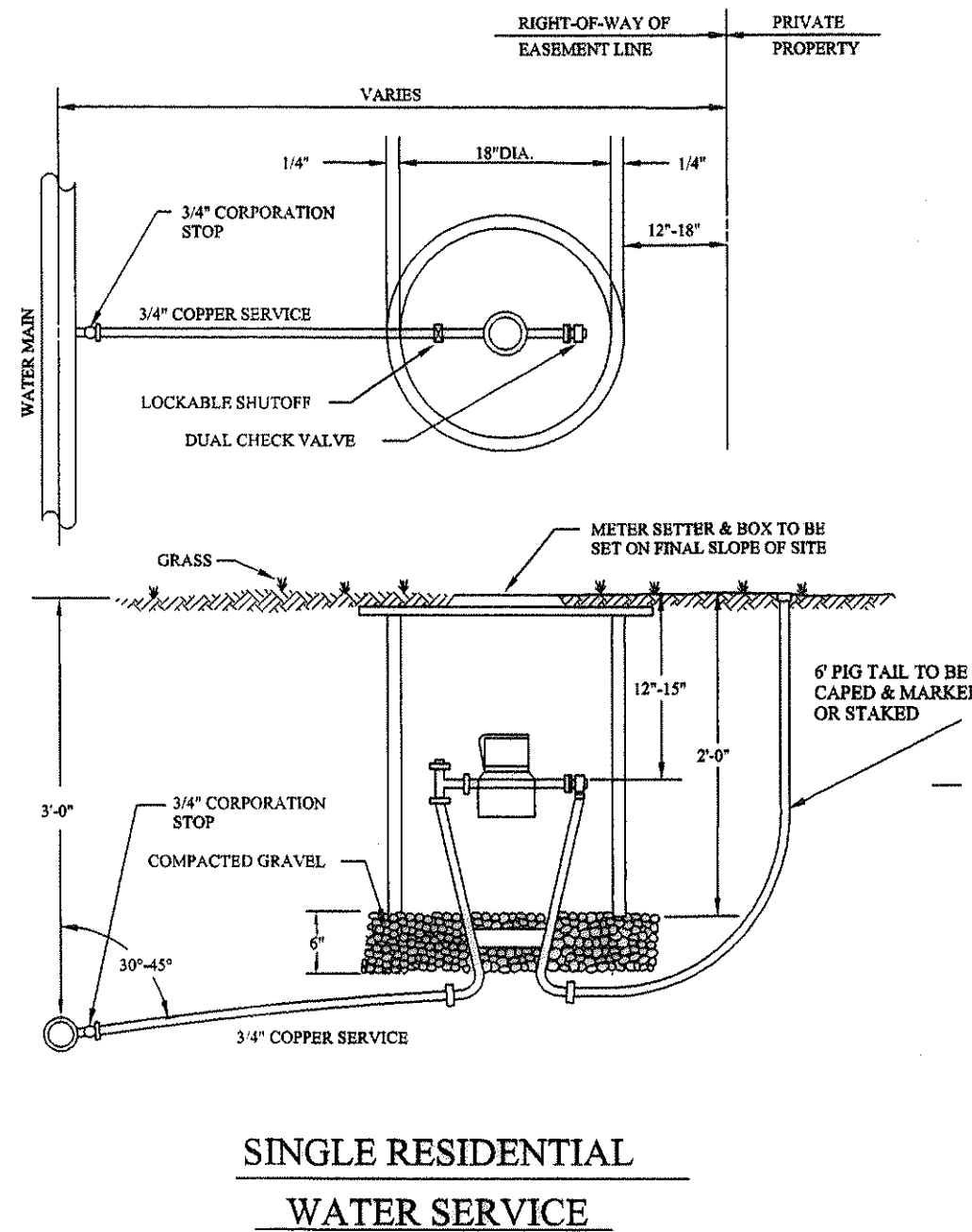
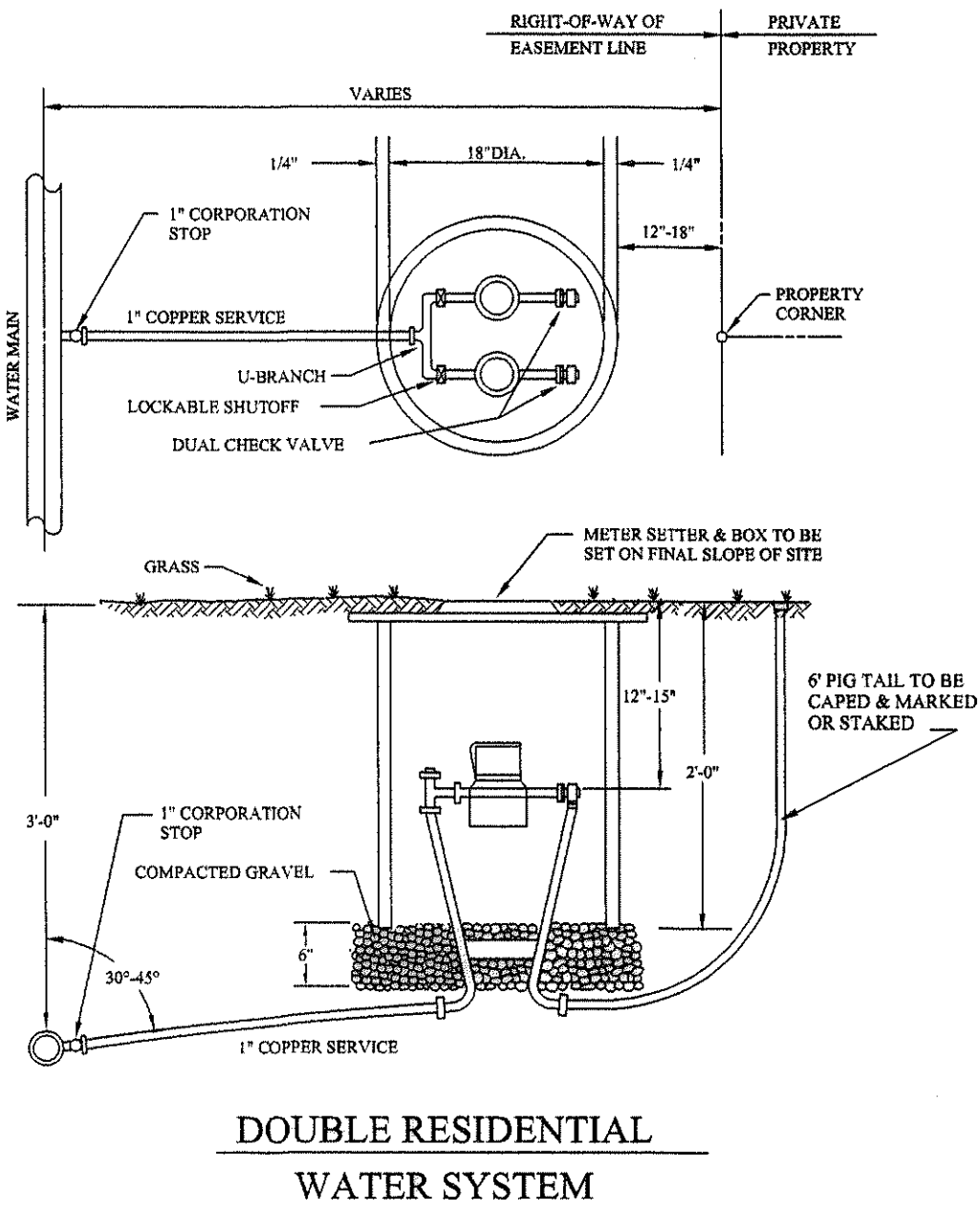
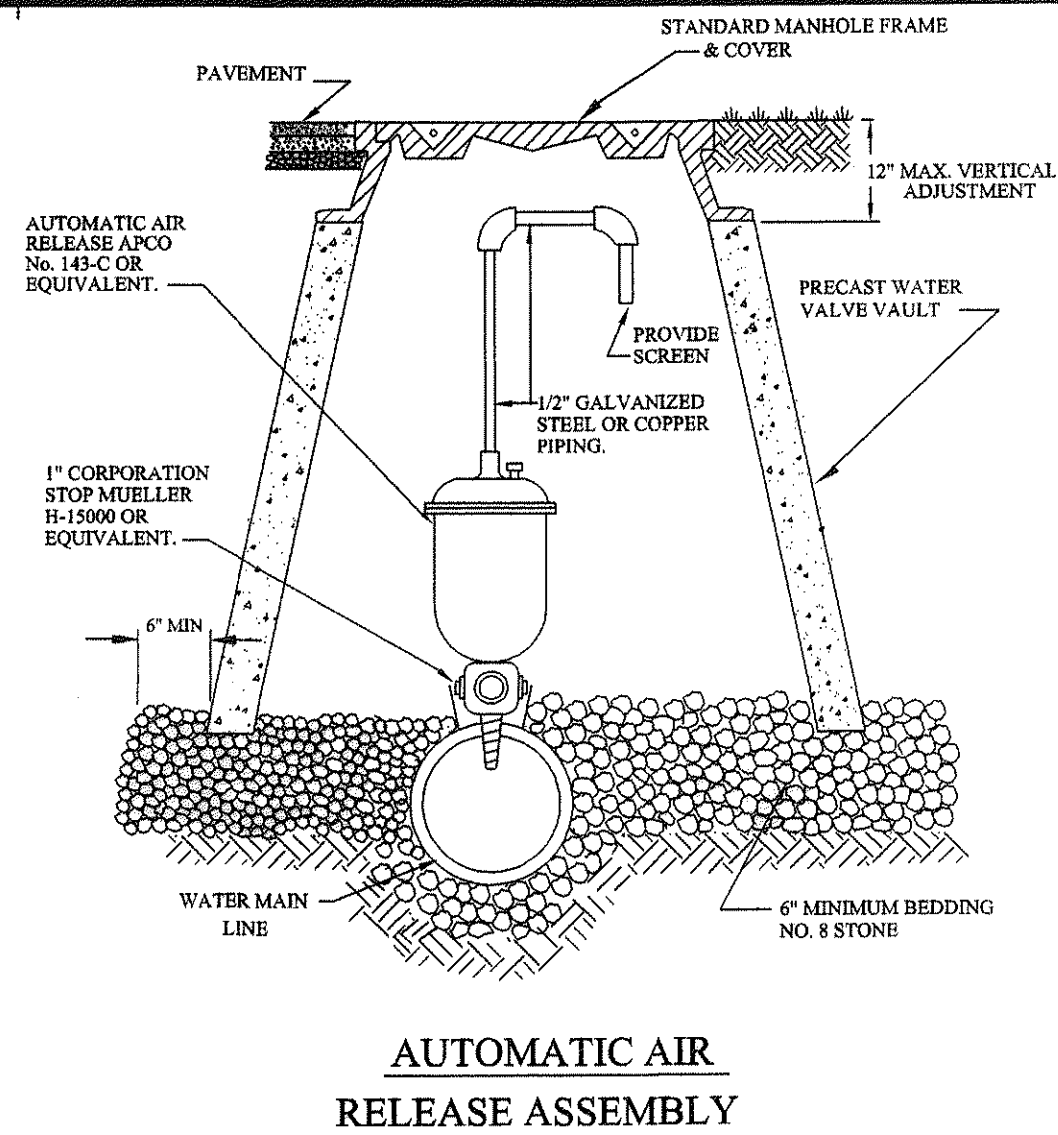
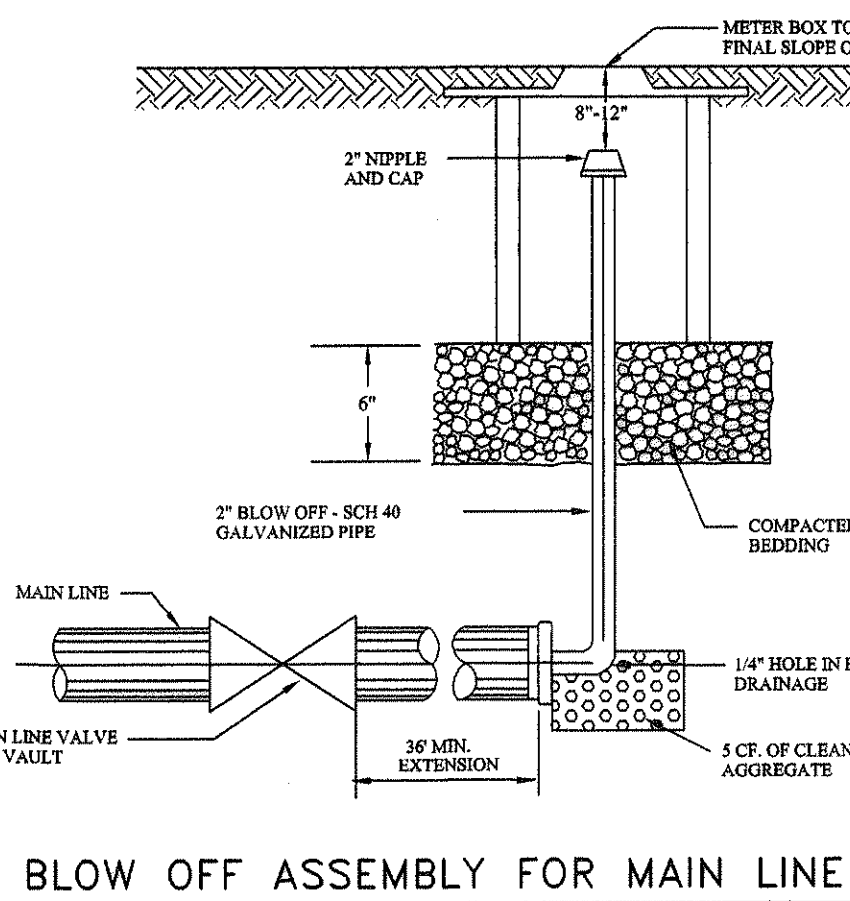
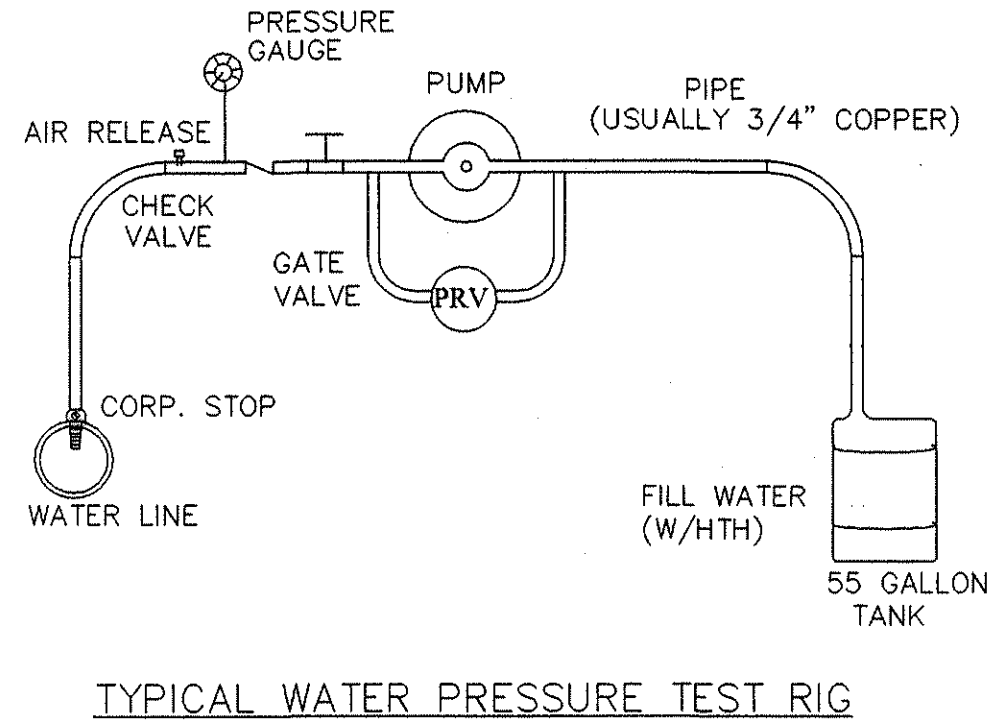
Designed By	DDW/DRM
Drawn By	DDW
Checked By	DRM
Approved By	DEM
Submitted By	DEM
Drawing	1809DESIGN
Date	09/27/93
Scale	1"=30'
Commission No.	1809
Sheet	10A of 1

SD-100 - PROFILE



Pipe Diameter (in.)	Min. Time (min: sec)	Length for Min. Time (ft)	Time for Longer Length (sec)	Specified Time for Length (L) Shown (min:sec)								
				100 ft	150 ft	200 ft	250 ft	300 ft	350 ft	400 ft	450 ft	
4	3:46	597	380 L	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46	
6	5:40	398	854 L	5:40	5:40	5:40	5:40	5:40	5:40	5:42	6:24	
8	7:34	298	1,520 L	7:34	7:34	7:34	7:34	7:36	8:52	10:08	11:24	
10	9:26	239	2,374 L	9:26	9:26	9:26	9:53	11:52	13:51	15:49	17:48	
12	11:20	199	3,418 L	11:20	11:20	11:24	14:15	17:05	19:56	22:47	25:38	
15	14:10	159	5,342 L	14:10	14:10	17:48	22:15	26:42	31:09	35:36	40:04	
18	17:00	133	7,692 L	17:00	19:13	25:38	32:03	38:27	44:52	51:16	57:41	
21	19:50	114	10,470 L	19:50	26:10	34:54	43:37	52:21	61:00	69:48	78:31	
24	22:40	99	13,674 L	22:47	34:11	45:34	56:58	68:22	79:46	91:10	102:33	
27	25:30	88	17,306 L	28:51	43:16	57:41	72:07	86:32	100:57	115:22	129:48	
30	28:20	80	21,366 L	35:37	53:25	71:13	89:02	106:50	124:38	142:26	160:15	
33	31:10	72	25,852 L	43:05	64:38	86:10	107:43	129:16	150:43	172:21	193:53	
36	34:00	66	30,768 L	51:17	76:55	102:34	128:12	153:50	179:29	205:07	230:46	

MINIMUM SPECIFIED TIME REQUIRED FOR A 1.0 PSIG PRESSURE DROP FOR SIZE AND LENGTH OF PIPE INDICATED FOR Q = 0.0015









EROSION & SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION

The purpose of this project is to construct a single family subdivision. This project will include 50 lots, with a minimum lot size of 20,000 SF. There will be approximately 6000 LF of new roadway having a typical pavement width of width of 22 feet. The total acreage of this project is approximately 50 acres.

EXISTING SITE CONDITIONS

The proposed development is located along Route 849, Arrington Rd., in the Blue Ridge District of Botetourt County. The existing site is wooded at this time and is not being used at this time.

ADJACENT AREAS

The site is bordered on the east by Route 849, the north and west by Steeplechase subdivision and to the south by private property.

SOILS

Soils found at this site are common to the area. None of these soils have high erosion tendencies.

CRITICAL EROSION AREAS

The potential critical erosion areas are:  
1. Steep roadside ditch slopes along proposed roads.  
2. The outlet of all culverts.

EROSION AND SEDIMENT CONTROL MEASURES

Unless otherwise indicated, all vegetative and structural erosion and sediment control practices shall be constructed and maintained according to minimum standards and specifications of the handbook. The minimum standards of the VESCR shall be adhered to unless otherwise waived or approved by a variance.

STRUCTURAL PRACTICES

- Temporary Construction Entrance (Section 3.02)  
One temporary construction entrance will be installed. Should tracking occur the road will be immediately cleaned.
- Silt Fence (Section 3.05)  
Temporary silt fences will be installed as indicated on the site plan.
- Straw Bale Barrier (Section 3.04)  
Temporary straw bale barriers will be placed and entrenched and anchored as indicated on the site plan.
- Outlet Protection (Section 3.18)  
Outlet protection will be placed at all discharge points from controlled flow to open flow. All outlet protection will be permanently designed and installed.
- Surface Roughening (Section 3.29)  
Surface roughening will be employed on all slopes exceeding 2:1.
- Temporary Seeding (Section 3.31)  
Temporary seeding will be placed on all disturbed areas that will not be brought to final grade within 30 days. Temporary seeding will aid in the reduction of dust and sediment. Temporary seeding will be Annual Ryegrass (100 #/ac), Feb 16 - April 30, German Millet (60 #/ac), May 1 - Aug. 31.
- Permanent Seeding (Section 3.32)  
Within 7 days after final grading permanent, seeding will be employed to reduce erosion and sediment yield.  
  
Seeding Specifications:  
  
Permanent seeding will be Kentucky Bluegrass, blended to contain 4 or more varieties, with no one variety exceeding 30%. The seeding will be applied at 140 lb. per acre. On slopes 2:1 or greater a mixture of Crown Vetch (50%), Perennial Ryegrass (40%), and Redtop (10%) will be used.  
  
All seeding, with required associated practices, will be in accordance with all applicable sections of the Virginia Erosion and Sediment Control  
  
8. Dust Control (Section 3.39)  
If arid conditions prevail dust control practices will be employed as required.
- Construction Road Stabilization (Section 3.03)  
All roads and parking areas on the site shall be stabilized with gravel immediately after grading.
- Temporary Sediment Basin (Section 3.14)
- Riprap (Section 3.19)  
Riprap shall be placed at the outlet of all pipes in accordance with VDOT standard EC-2 as indicated on the plans. Riprap along the ditches shall be VDOT Class 1 riprap installed over a six inch filter consisting of #57 stone.

12. Check Dams (Section 3.20)  
MANAGEMENT

- Construction should be sequenced so that grading operations can begin and end as quickly as possible.
- Erosion and Sediment control devices shall be installed as the first step of construction.
- Areas which are not to be disturbed shall be clearly marked by flags, signs, etc.
- The grading contractor shall be responsible for the installation and maintenance of all erosion and sediment control practices. Inspections are to be made periodically and after every significant rainfall.
- After achieving adequate stabilization, the temporary E&S controls will be cleaned up and removed, and the sediment basins will be cleaned out and converted to permanent stormwater management basins. Removal must be approved by Botetourt County.

PERMANENT STABILIZATION

All areas disturbed by construction shall be stabilized with permanent seeding within 7 days following finish grading. Seeding shall be done with Kentucky 31 Tall Fescue according to Std. & Spec. 3.32, PERMANENT SEEDING, of the handbook. Erosion control blankets will be installed over fill slopes which have been brought to final grade and have been seeded to protect the slopes from rill and gully erosion and to allow seed to germinate properly. Mulch (straw or fiber) will be used on relatively flat areas. In all seeding operations, seed, fertilizer and lime will be applied prior to mulching.

MAINTENANCE OF DETENTION FACILITIES

The applicant shall obtain approval from the locality of a plan for maintenance of the detention facilities. The plan shall set forth the maintenance requirements of the facility and the person responsible for performing the maintenance.

STORMWATER MANAGEMENT

Calculation of runoff before and after development indicates that there will be a net increase in peak runoff as a result of project development. Consequently, stormwater management basins have been designed to detain and release the runoff at the 2-year pre-developed rate. (See attached calculations)

MAINTENANCE

In general, all erosion and sediment control measures will be checked daily and after each significant rainfall. Any items not found in accordance with the Virginia Erosion and Sediment Control Handbook will be immediately replaced and/or repaired. The following items will be checked in particular:

- The sediment basin will be cleaned out when the level of sediment buildup reaches the cleanout point indicated on the riser pipe.
- The gravel outlets will be checked regularly for sediment buildup which will prevent drainage. If the gravel is clogged by sediment, it shall be removed and cleaned or replaced.
- The silt fence barrier will be checked regularly for undermining or deterioration of the fabric. Sediment shall be removed when the level of sediment deposition reaches half way to the top of the barrier.
- The seeded areas will be checked regularly to ensure that a good stand is maintained. Areas should be fertilized and re-seeded as needed.

GENERAL

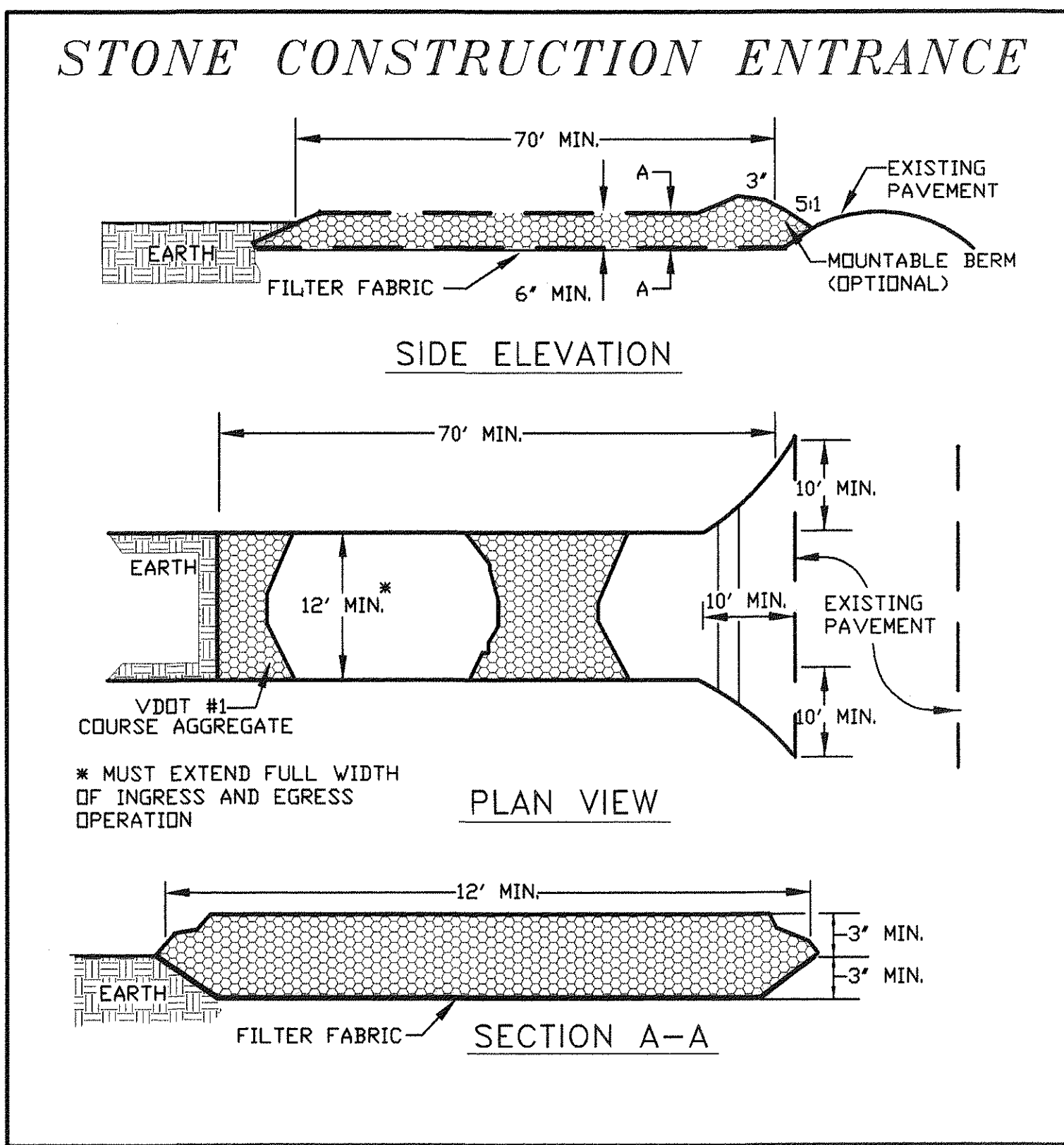
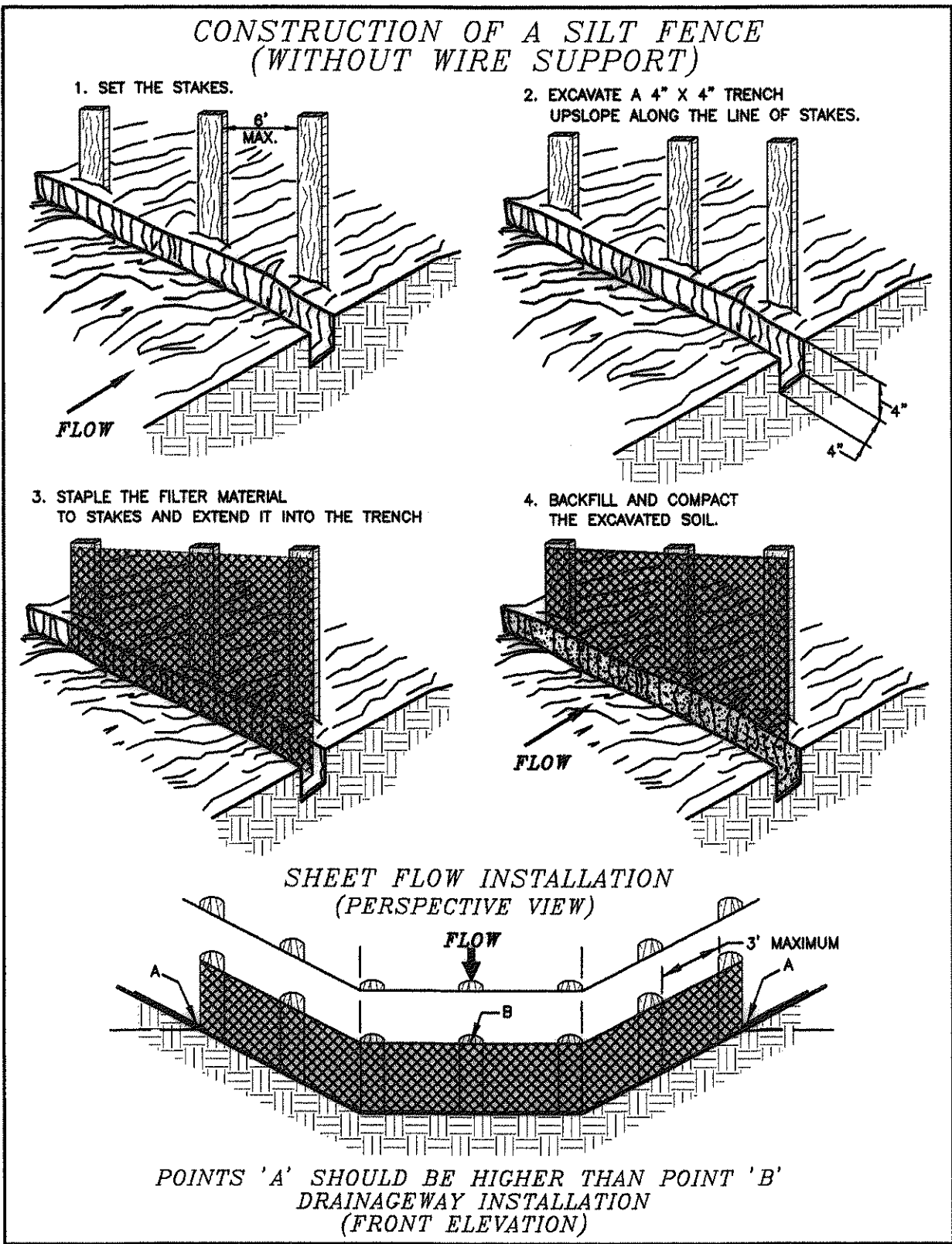
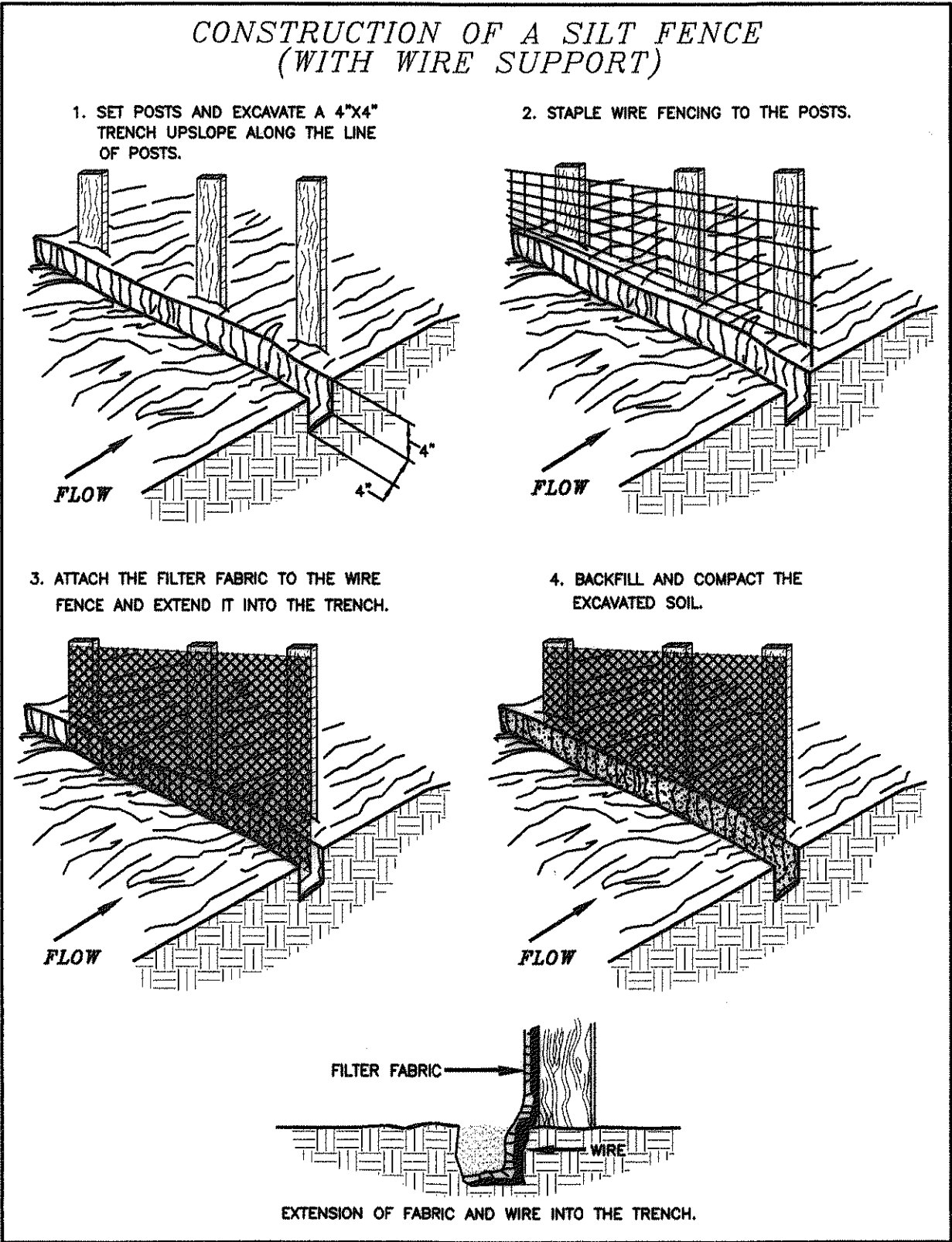
The erosion and sediment control measures shown on the construction plans are the minimum measures required. The owner, through his contractor, will employ whatever measures which may be required to assure that sediment laden runoff does not leave the site.

All materials and measures employed for erosion and sediment control will be in accordance with the Virginia Erosion and Sediment Control Handbook, latest edition.

If, during construction, additional Erosion and Sediment Control measures are deemed necessary, they shall be installed as directed by the Owner, Engineer or County agent.

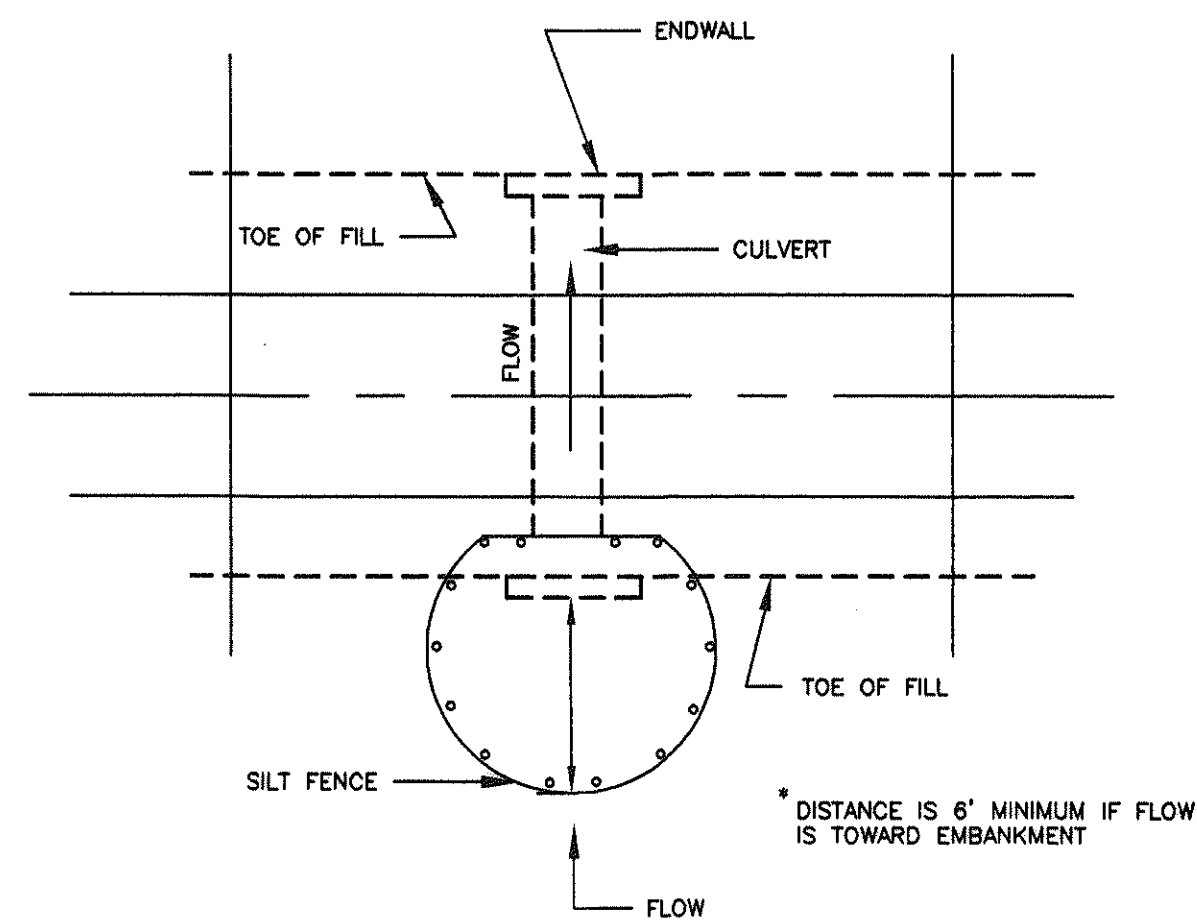
This project is to be constructed consistent with the 1992 Virginia Erosion And Sediment Control Regulations.

Construction traffic shall not enter streams or swales without first installing a temporary stream crossing.

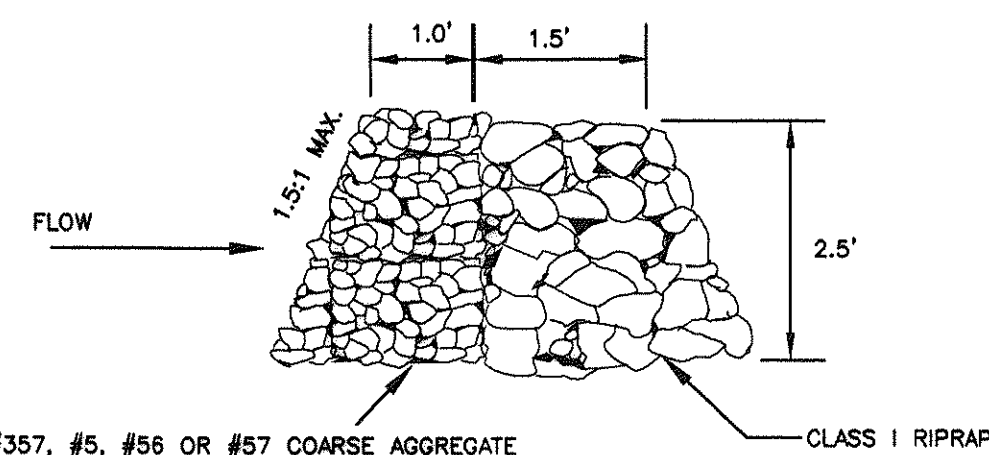




# SILT FENCE CULVERT INLET PROTECTION



## \* OPTIONAL STONE COMBINATION

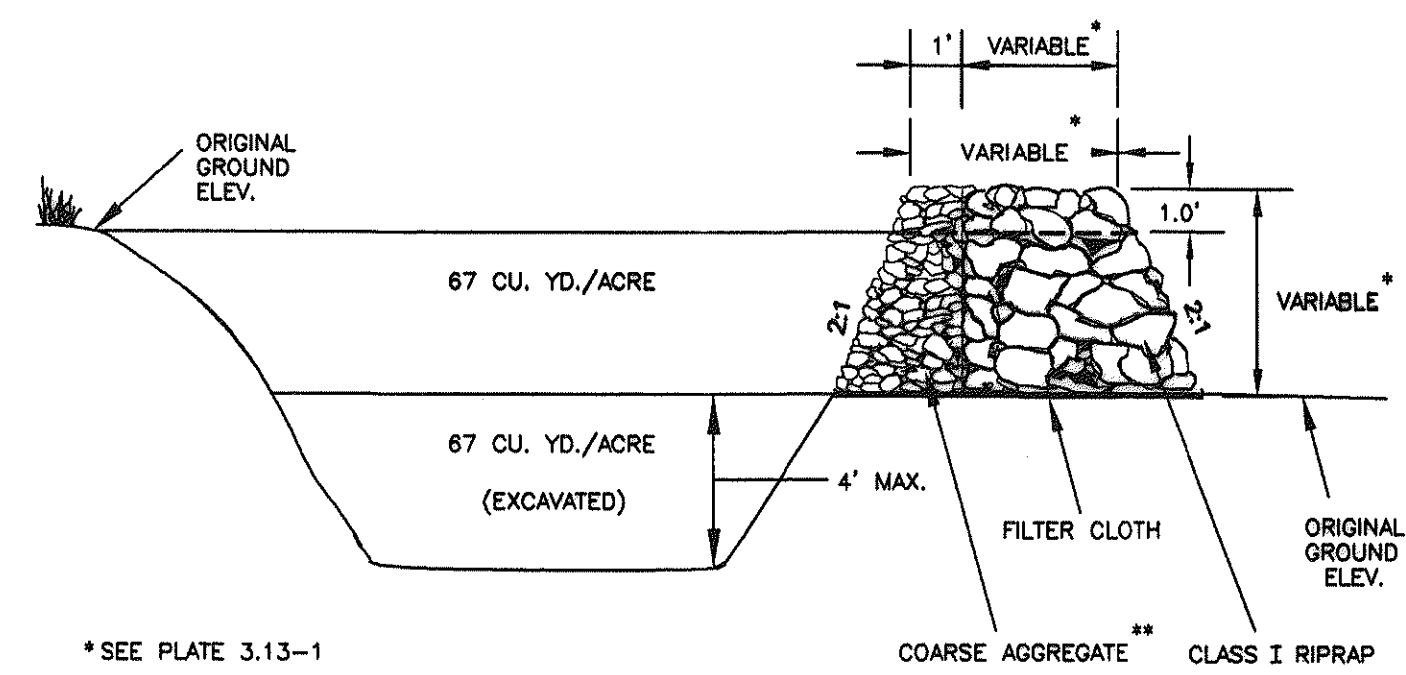


\* VDOT #3, #357, #5, #56 OR #57 COARSE AGGREGATE TO REPLACE SILT FENCE IN "HORSESHOE" WHEN HIGH VELOCITY OF FLOW IS EXPECTED

SOURCE: ADAPTED FROM VDOT STANDARD SHEETS AND VA. DSWC

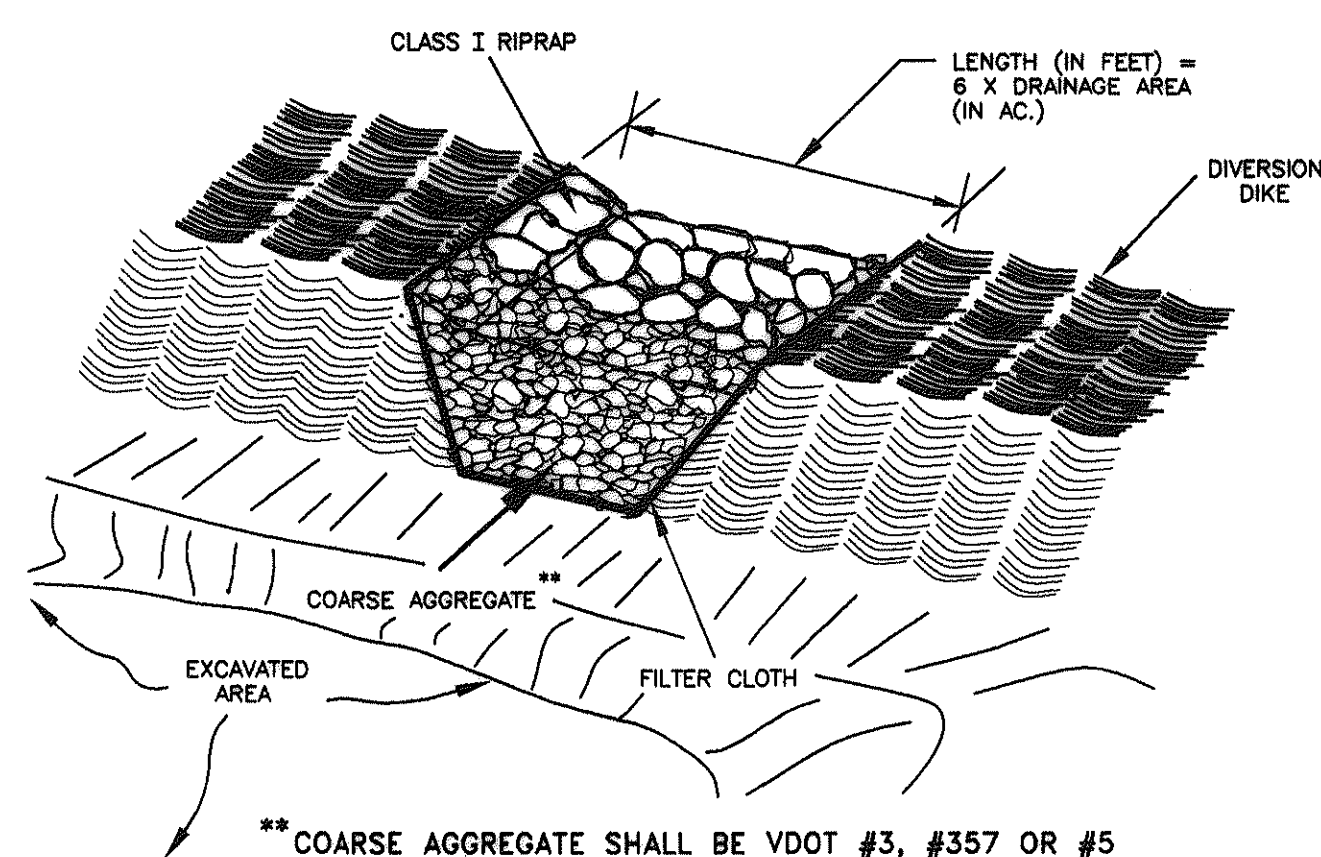
PLATE. 3.08-1

# TEMPORARY SEDIMENT TRAP



\* SEE PLATE 3.13-1

## CROSS SECTION OF OUTLET



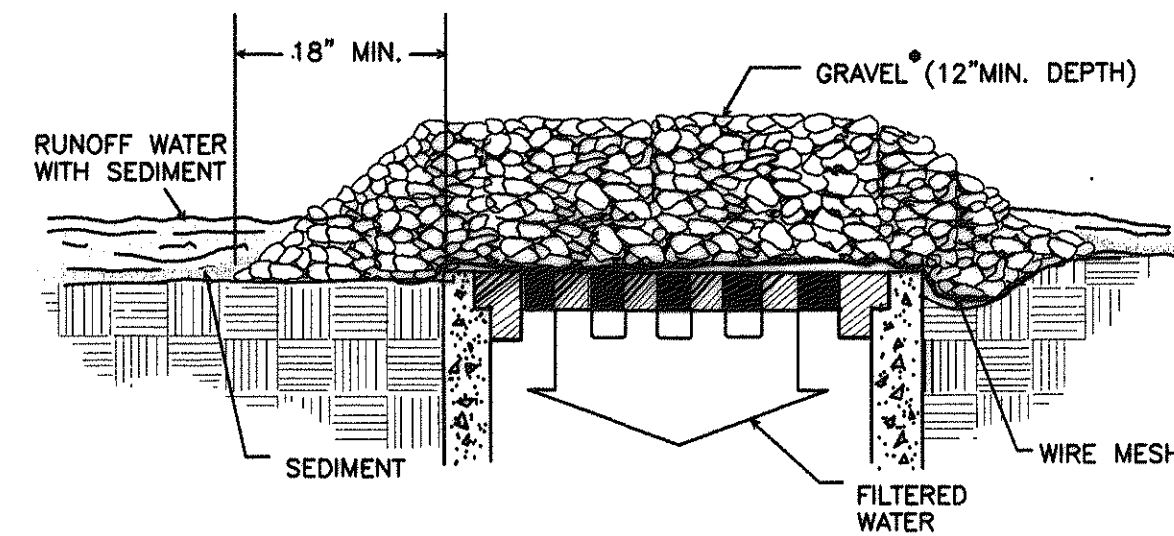
\*\* COARSE AGGREGATE SHALL BE VDOT #3, #357 OR #5

## OUTLET (PERSPECTIVE VIEW)

SOURCE: VA. DSWC

PLATE. 3.13-2

# GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER



## SPECIFIC APPLICATION

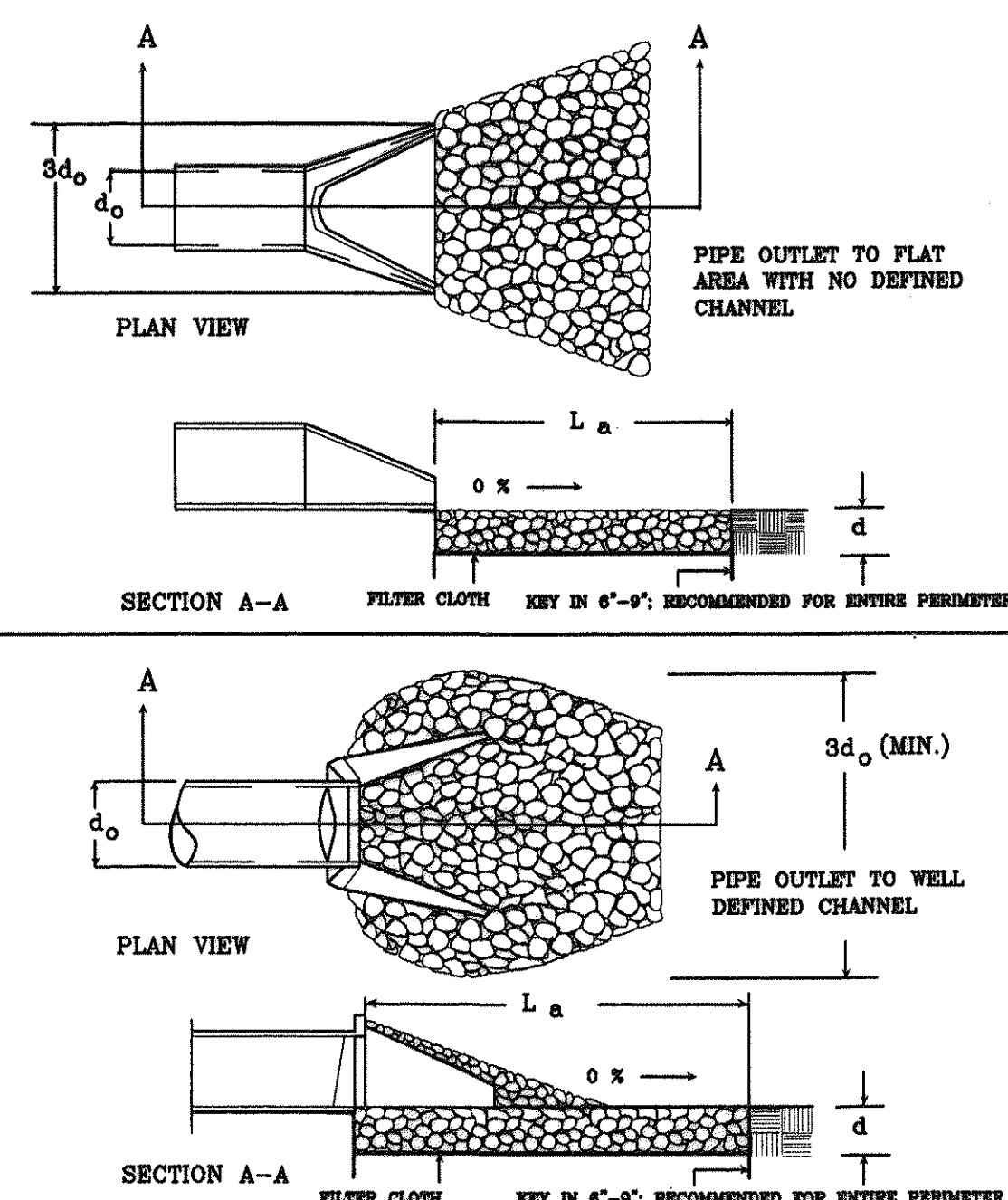
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

\* GRAVEL SHALL BE VDOT #3, #357 OR #5 COARSE AGGREGATE.

SOURCE: VA. DSWC

PLATE. 3.07-2

# PIPE OUTLET CONDITIONS



NOTES: 1. APRON LINING MAY BE RIPRAP, GROUTED RIPRAP, GABION BASKET, OR CONCRETE.  
2. L\_a IS THE LENGTH OF THE RIPRAP APRON AS CALCULATED USING PLATES 3.18-3 AND 3.18-4.  
3. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER, BUT NOT LESS THAN 6 INCHES.

Source: Va. DSWC

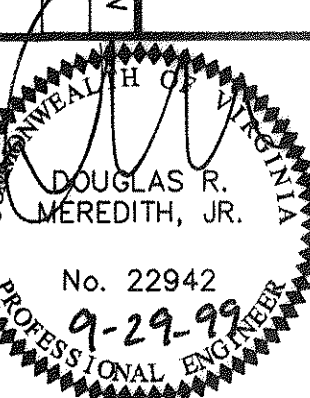
Plate 3.18-1

LMW P.C.

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MOUNTAIN CREST  
LOCATED IN  
BOTETOURT COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION	BY



Designed By	DDW/DME
Drawn By	DDW
Checked By	DME
Approved By	DRM
Submitted By	DRM
Drawing	1809ADDET
Date	09/27/99
Scale	NONE
Commission No.	1809

Sheet 14 of 14