

KNOW ALL MEN BY THESE PRESENTS TO WIT:

THAT ROBIN L. THURMOND, JR. IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON SUBDIVIDED AND KNOWN AS "MOUNT CHESTNUT HIGHLANDS" BOUNDED AS SHOWN HEREON, IN DETAIL BY OUTSIDE CORNERS 1 THRU 9 TO 1, INCLUSIVE WHICH COMPRISES PART OF THE LAND CONVEYED TO SAID OWNER BY DEED DATED DECEMBER 30, 1972 AND RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA, IN DEED BOOK 963 PAGE 778.

THE SAID OWNER CERTIFIES THAT THE SUBDIVISION OF THE LAND AS SHOWN HEREON INTO LOTS IS ENTIRELY WITH ITS FREE WILL AND CONSENT AS REQUIRED UNDER SECTION 15-797 OF THE 1950 CODE OF THE COMMONWEALTH OF VIRGINIA, THE SAID OWNER DOES BY VIRTUE OF

RECORDATION OF THIS PLAT DEDICATE IN FEE SIMPLE TO THE COUNTY OF ROANOKE ALL OF THE LAND EMBRACED WITHIN THE STREETS OF THE SUBDIVISION AND DEDICATES THE EASEMENTS SHOWN HEREON WITHIN THE BOUNDARY TO PUBLIC USE.

THE OWNER DOES AS A CONDITION PRECEDENT TO THE APPROVAL OF THE PLAT AND SUBDIVISION AND ACCEPTANCE OF THE DEDICATION OF THE STREETS SHOWN HEREON BY THE BOARD OF SUPERVISOR OF ROANOKE COUNTY, ON ITS OWN BEHALF AND ON ACCOUNT OF ITS HEIRS, SUCCESSORS, DEVISEES AND ASSIGNS, SPECIFICALLY RELEASES THE COUNTY OF ROANOKE AND THE VIRGINIA DEPARTMENT OF HIGHWAYS FROM ANY AND ALL CLAIM OR CLAIMS FOR DAMAGES WHICH SUCH OWNER, ITS HEIRS, SUCCESSORS, DEVISEES AND ASSIGNS MAY OR MIGHT HAVE AGAINST THE COUNTY OR VIRGINIA DEPARTMENT OF HIGHWAYS BY REASON OF ESTABLISHING PROPER GRADE LINES ON AND ALONG SUCH STREETS AS SHOWN ON THE PLAT OF THE LAND SUBDIVIDED (OR SUCH CHANGED STREETS AS MAY BE AGREED UPON IN THE FUTURE) AND BY REASON OF DOING NECESSARY GRADING, CUTTING OR FILLING FOR THE PURPOSE OF PLACING SUCH STREETS UPON THE PROPER GRADE AS MAY, FROM TIME TO TIME, BE ESTABLISHED BY SAID COUNTY OR VIRGINIA DEPARTMENT OF HIGHWAYS, AND SAID COUNTY OR VIRGINIA DEPARTMENT OF HIGHWAYS SHALL NOT BE REQUIRED TO CONSTRUCT ANY RETAINING WALL OR WALLS ALONG THE STREETS AND PROPERTY LINES THEREOF.

WITNESS THE SIGNATURES AND SEALS ON THIS \_\_\_\_ DAY OF \_\_\_\_ 1973.

ROBIN L. THURMOND JR. - OWNER

STATE OF VIRGINIA  
COUNTY OF ROANOKE TO WIT:

I, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID DO HEREBY CERTIFY THAT ROBIN L. THURMOND, JR., OWNER, WHOSE NAME IS SIGNED TO THE FOREGOING WRITING DATED \_\_\_\_ 1973, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID COUNTY AND STATE AND ACKNOWLEDGED THE SAME ON \_\_\_\_ 1973.

MY COMMISSION EXPIRES  
ON \_\_\_\_ 1973.

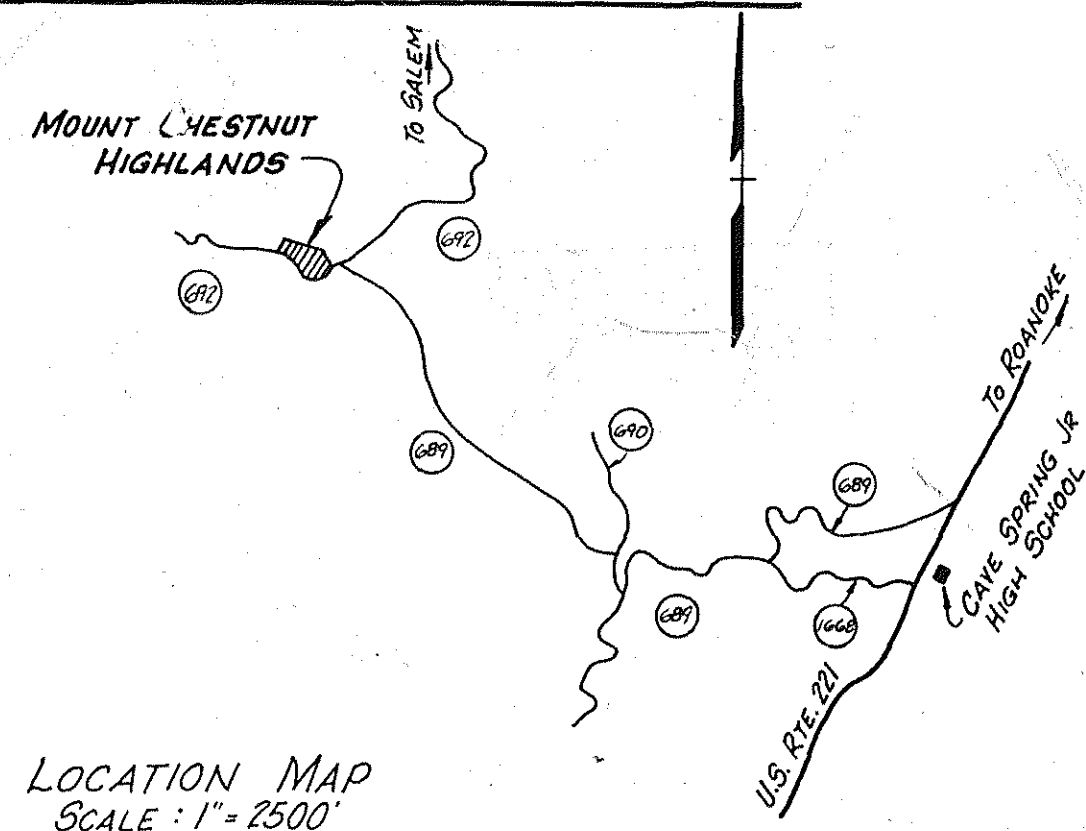
NOTARY PUBLIC

RESERVATIONS AND RESTRICTIONS

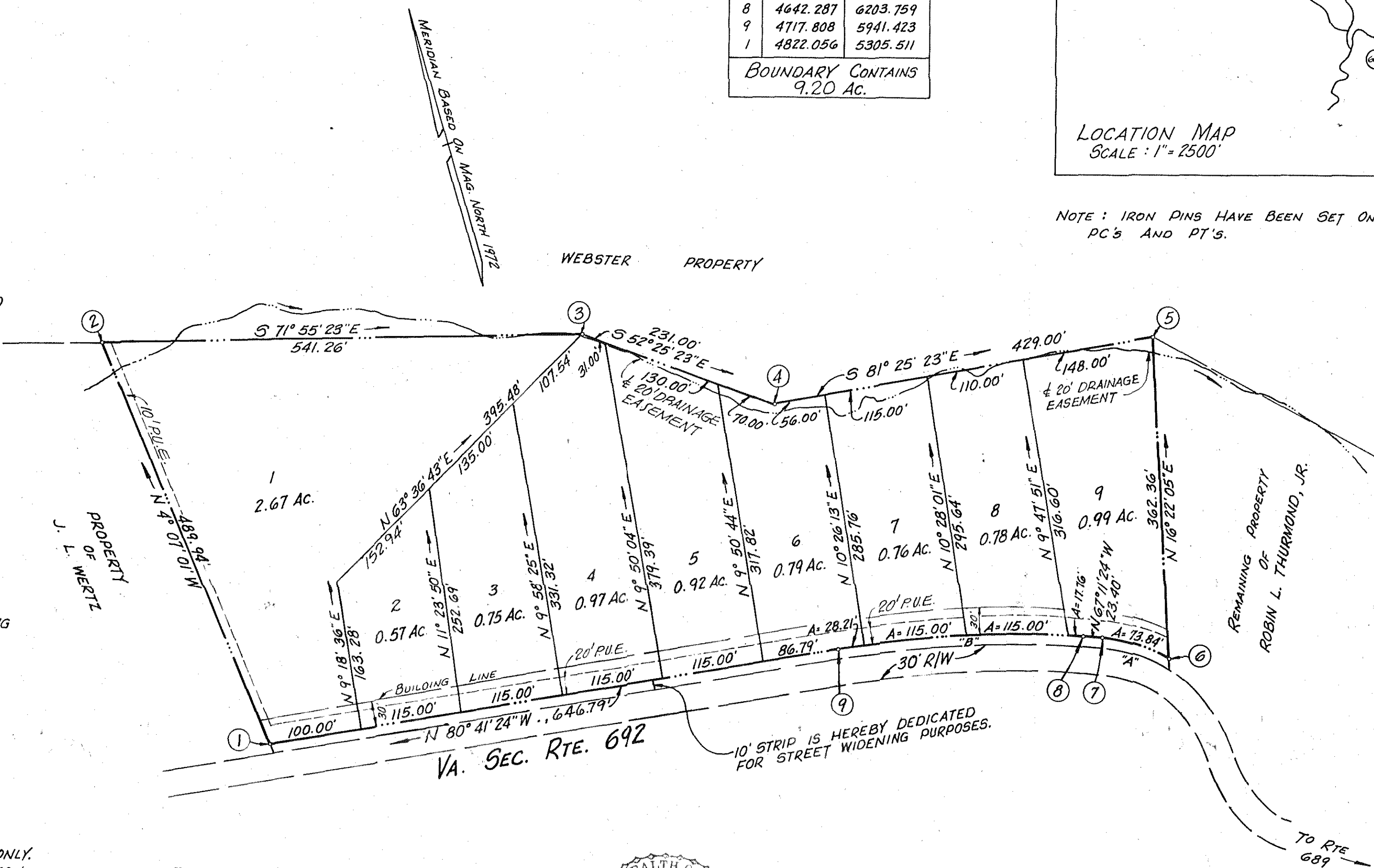
- THE FOLLOWING RESERVATIONS AND RESTRICTIONS ARE MADE COVENANTS RUNNING WITH THIS LAND FOR A PERIOD OF 25 YEARS FOLLOWING THE DATE OF RECORDATION OF THE MAP OF MOUNT CHESTNUT HIGHLANDS.
- ALL LOTS SHOWN HEREON SHALL BE USED FOR RESIDENTIAL PURPOSES ONLY.
- (A) NO RANCH TYPE RESIDENCE SHALL BE ERECTED ON ANY LOT SHOWN HEREON WITH LESS THAN 1300 SQ. FT. OF LIVEABLE FLOOR SPACE, HOWEVER (1/2) ONE-HALF OF THE SQUARE FOOTAGE OF A PORCH OR CARPORT UP TO 300 SQ. FT. IN SIZE SHALL BE CONSIDERED LIVEABLE FLOOR SPACE.  
(B) NO SPLIT-FOYER TYPE RESIDENCE SHALL BE ERECTED WITH LESS THAN 1000 SQ. FT. ON EACH LEVEL.  
(C) NO SPLIT-LEVEL TYPE RESIDENCE SHALL BE ERECTED WITH LESS THAN 1200 SQ. FT. OF LIVEABLE FLOOR SPACE. NO FINISHED AREAS IN BASEMENT OR FINISHED SPACE UNDER OTHER LIVING AREAS TO BE COUNTED.  
(D) NO COLONIAL TYPE RESIDENCE SHALL BE ERECTED WITH LESS THAN 750 SQ. FT. EACH FLOOR NOT INCLUDING BASEMENT.
- ONLY ONE RESIDENCE SHALL BE ERECTED ON ANY ONE LOT, HOWEVER, THE OWNERS RESERVE THE RIGHT TO MODIFY THE LOT LINES IN DETAIL IF SO DESIRED.
- NO RESIDENCE SHALL BE ERECTED CLOSER TO THE FRONT LOT LINE THAN THE SET BACK LINE INDICATES.
- NO TRAILER, BASEMENT, TENT, SHACK, GARAGE, BARN OR OTHER OUTBUILDING SHALL BE USED AS A TEMPORARY RESIDENCE, NOR SHALL ANY STRUCTURE OF TEMPORARY CHARACTER BE BUILT OR USED AS A RESIDENCE.
- NONE OF THE LOTS SHALL BE USED AS A PARKING LOT FOR COMMERCIAL VEHICLES AND NO NOXIOUS OR OFFENSIVE TRADE OR ACTIVITY SHALL BE CARRIED ON UPON ANY LOT, NOR SHALL ANYTHING BE DONE TO DISTURB THE PEACE AND QUIET OF THE NEIGHBORHOOD.
- NO SWINE OR HOGS SHALL BE KEPT OR MAINTAINED ON ANY OF THE LOTS. NOR SHALL ANY POULTRY OR LIVESTOCK (HORSES EXCEPTED) BE KEPT OR RAISED UPON ANY OF THE LAND, IN THE SUBDIVISION.
- THE OWNER RESERVE THE RIGHT BY THEIR SOLE ACT AND DEED TO WAIVE, MODIFY, CHANGE OR AMEND ANY OF THE FOREGOING CONDITIONS AND RESTRICTIONS WHICH SHALL RUN FOR 25 YEARS FROM MAP RECORDATION DATE.

CURVE	LOT	ANGLE	TAN.	ARC.	RADIUS	CHORD	
						BEARING	DIST.
A	9	24° 10' 32"	37.48'	73.84'	175.00'	N 55° 06' 08" W	73.29'
B	9	00° 52' 08"	8.88'	17.76'	117.28'	N 67° 37' 28" W	17.76'
B	8	5° 37' 32"	57.55'	115.00'	117.28'	N 70° 52' 18" W	114.95'
B	7	5° 37' 32"	57.55'	115.00'	117.28'	N 76° 29' 50" W	114.95'
B	6	1° 22' 48"	14.11'	28.21'	117.28'	N 80° 00' 00" W	28.21'

BOUNDARY COORDINATES		
ORIGIN OF COORDINATES ASSUMED		
Cor.	NORTH	EAST
1	4822.056	5305.511
2	5320.986	5269.599
3	5153.036	5784.143
4	5012.159	5967.217
5	4948.179	6391.420
6	4600.507	6289.304
7	4633.215	6225.329
8	4642.287	6203.759
9	4717.808	5941.423
1	4822.056	5305.511
BOUNDARY CONTAINS 9.20 AC.		

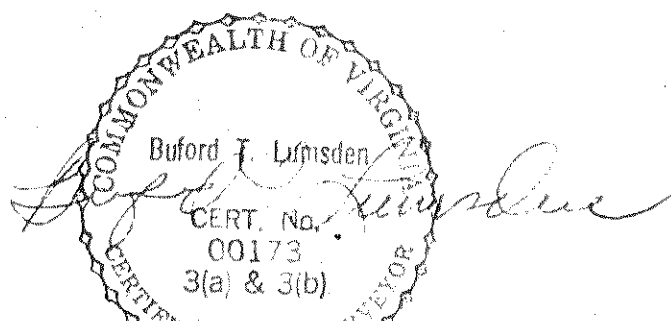


NOTE: IRON PINS HAVE BEEN SET ON ALL PROPERTY CORNERS, PCS AND PTS.



I HEREBY CERTIFY THAT THIS PLAT OF SURVEY IS CORRECT.

CERTIFIED LAND SURVEYOR



APPROVED:

SECRETARY - ROANOKE COUNTY PLANNING COMMISSION

6/7/74  
DATE

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA. THIS PLAT WITH THE CERTIFICATE OF ACKNOWLEDGEMENT THERETO ANNEXED IS ADMITTED TO RECORD ON July 3 1973; AT 9:33 O'CLOCK A.M.

TESTE: ELIZABETH W. STOKES

BY: *Elizabeth W. Stokes*  
DEPUTY CLERK

PLAT OF

MOUNT CHESTNUT HIGHLANDS

OWNER: ROBIN L. THURMOND, JR.

SITUATED IN THE CAVE SPRING MAGISTERIAL DISTRICT

ROANOKE COUNTY, VIRGINIA

SCALE: 1"=100'

DATE: 10 OCT. 1973

PREPARED BY  
Buford T. Lumsden & Associates  
CERTIFIED LAND SURVEYORS  
ROANOKE, VIRGINIA

COMM 815