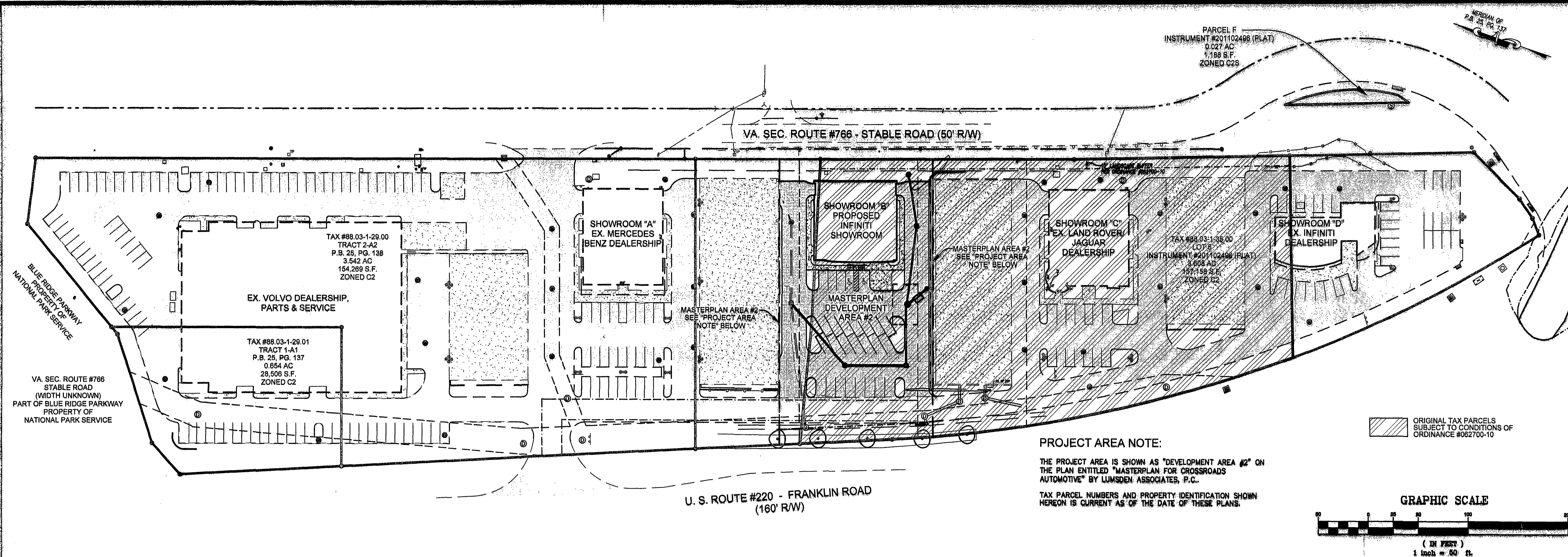
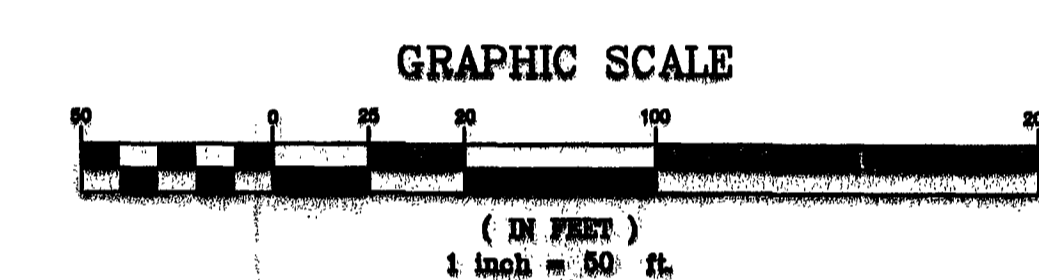


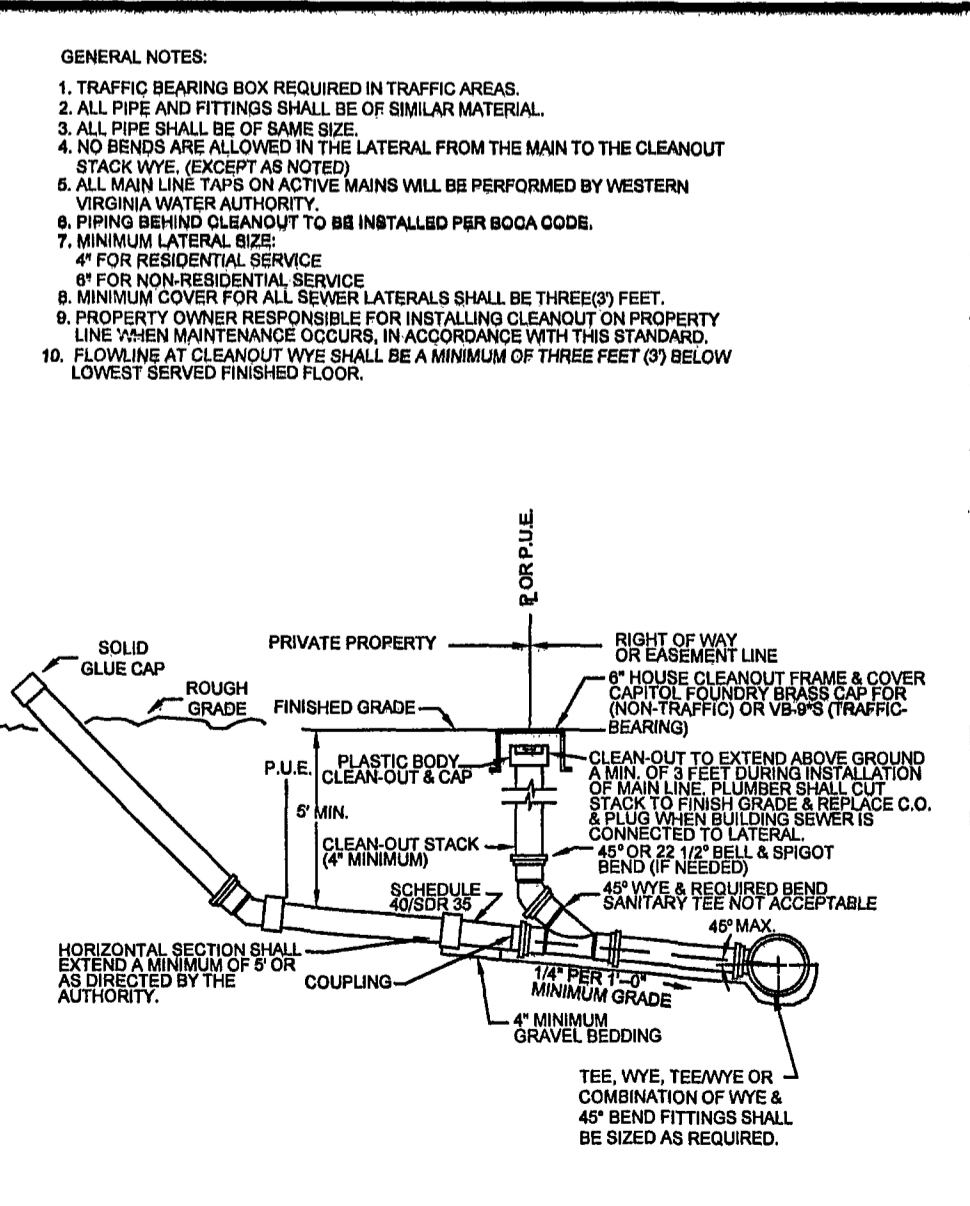
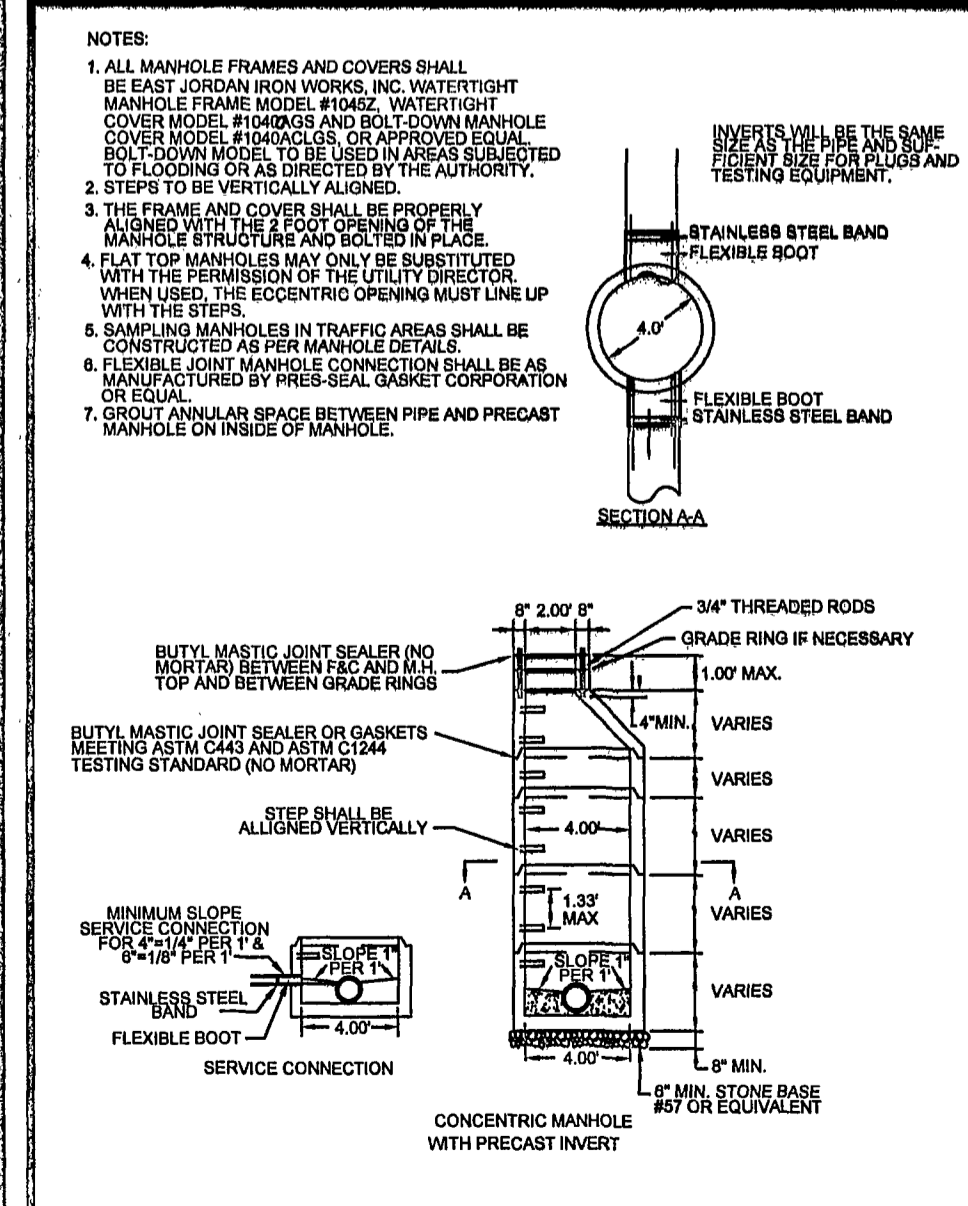
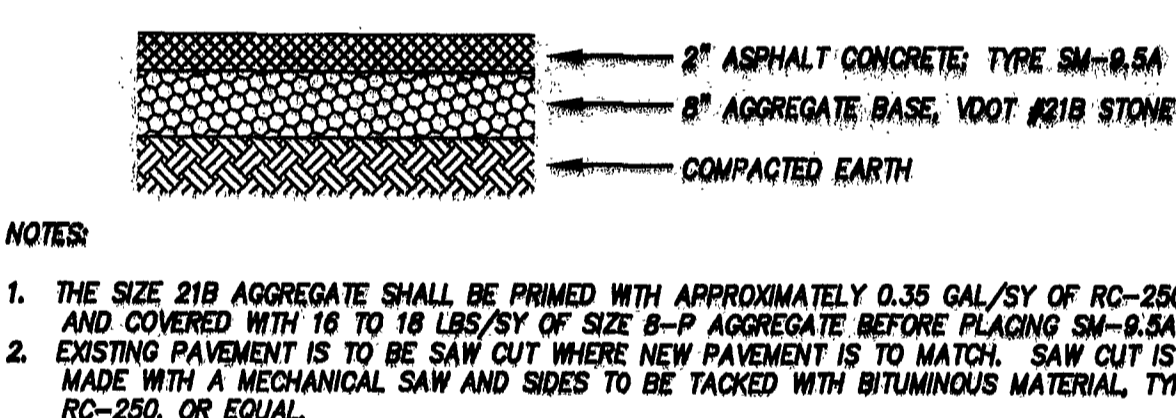
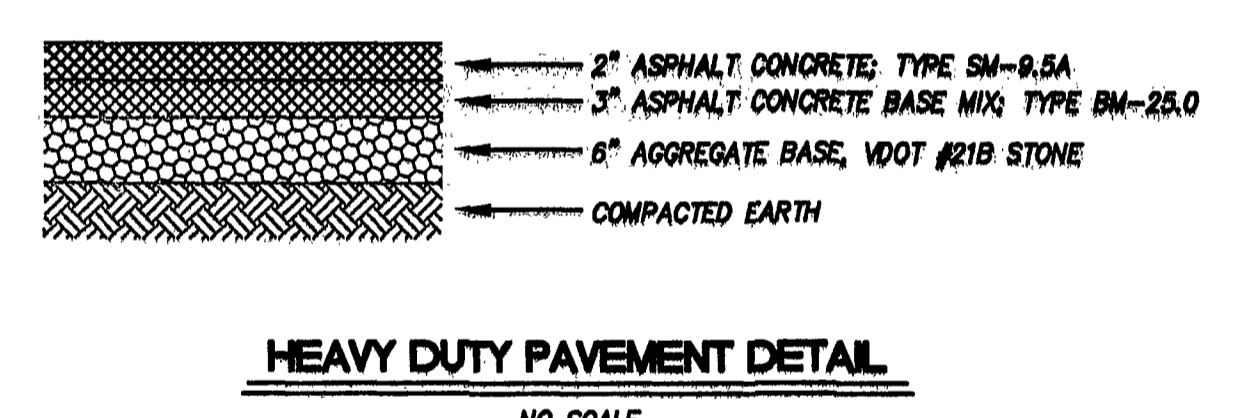
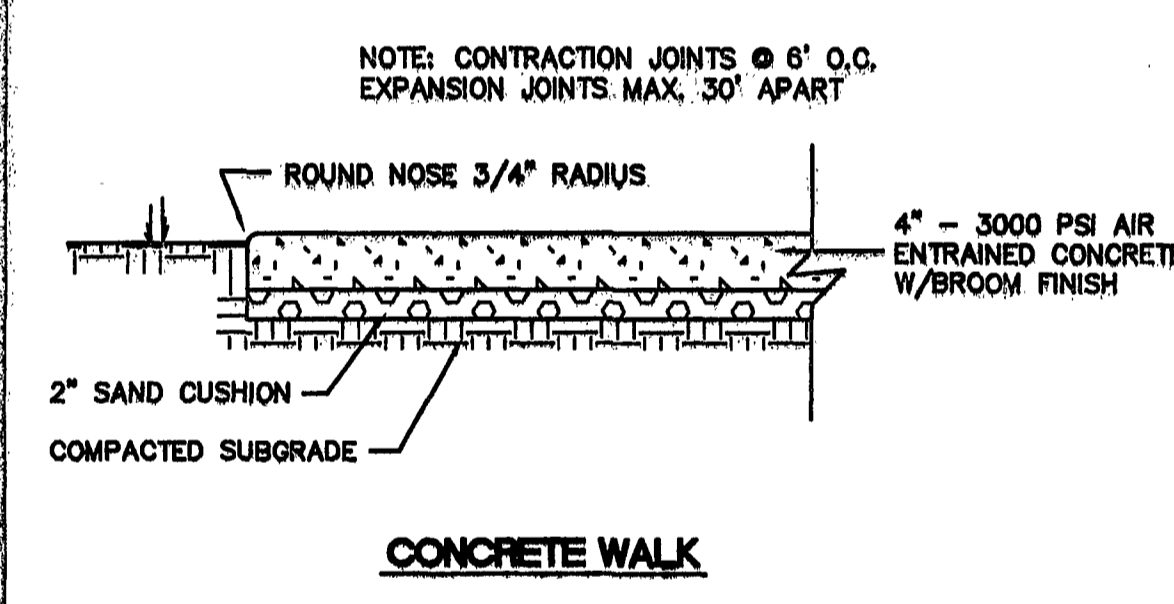
1219comp-02.rvt.dwg



**PROJECT AREA NOTE:**  
 THE PROJECT AREA IS SHOWN AS "DEVELOPMENT AREA #2" ON THE PLAN ENTITLED "MASTERPLAN FOR CROSSROADS AUTOMOTIVE" BY LUMSDEN ASSOCIATES, P.C.  
 TAX PARCEL NUMBERS AND PROPERTY IDENTIFICATION SHOWN HEREON IS CURRENT AS OF THE DATE OF THESE PLANS.



**DEVELOPMENT MASTERPLAN**



WESTERN VIRGINIA WATER AUTHORITY - CONSTRUCTION STANDARDS	
REVISION DATE	DESCRIPTION
02/10/04	
02/01/09	

WESTERN VIRGINIA WATER AUTHORITY - CONSTRUCTION STANDARDS	
REVISION DATE	DESCRIPTION
02/10/04	
02/01/09	

**ROANOKE COUNTY ORDINANCE 062700-10 CONDITIONS (6/27/2000)**

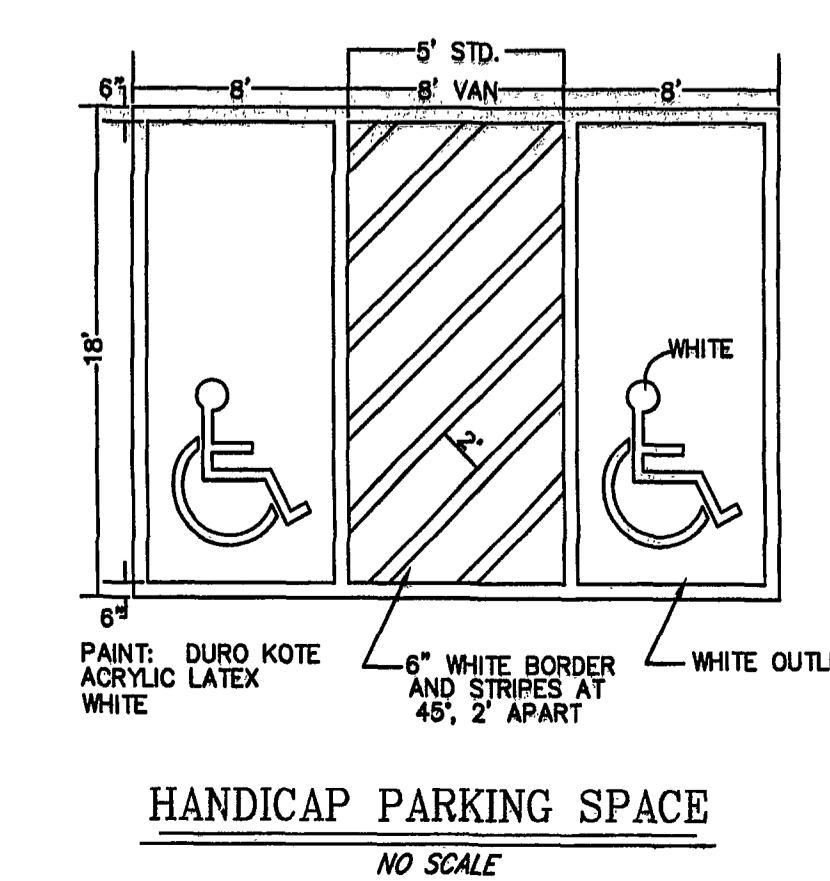
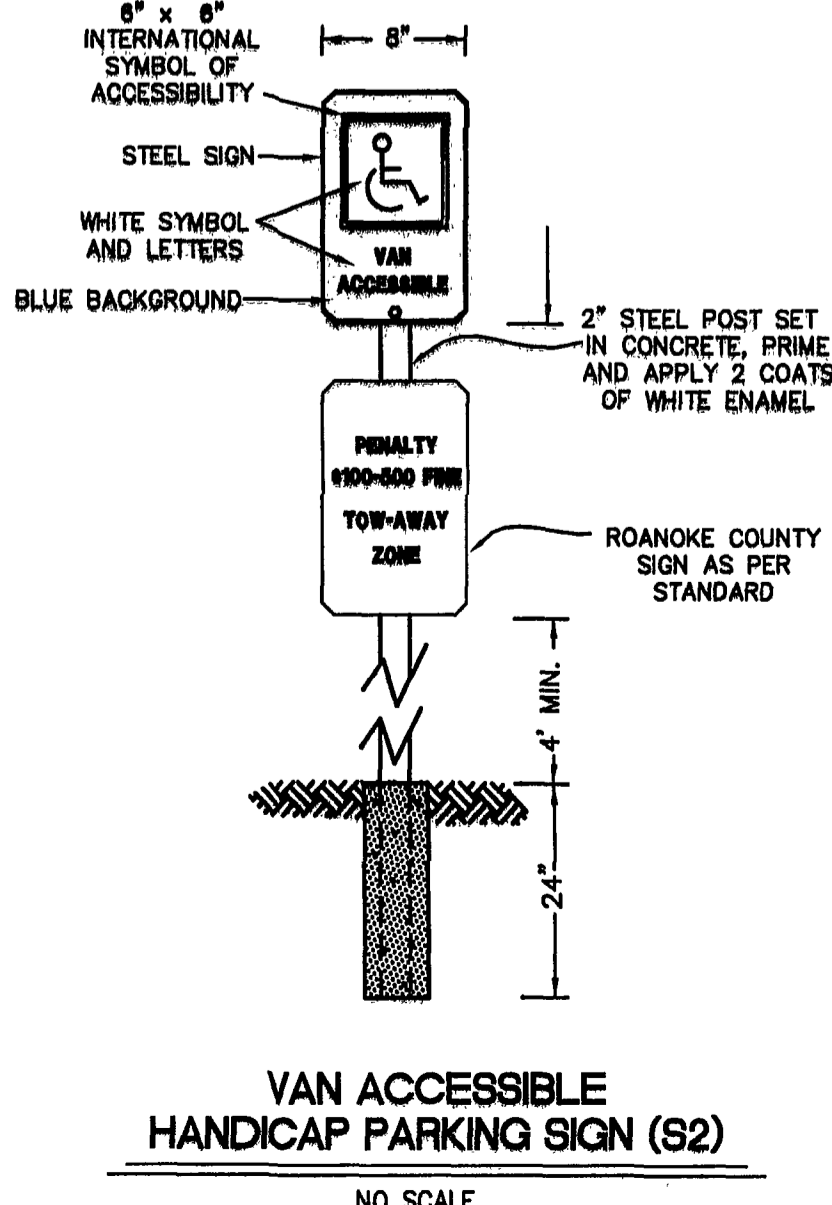
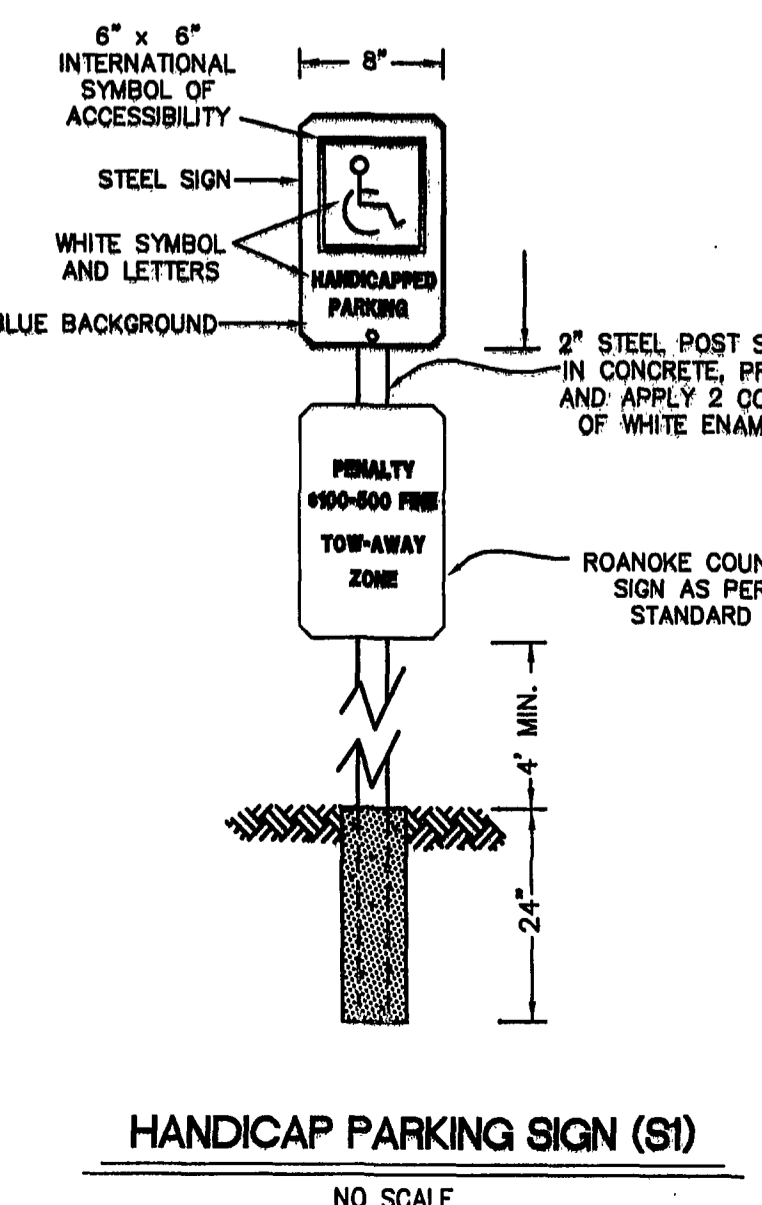
- Access to Stable Road will be controlled by a gate, chain or similar mechanism.
- The cut from the site onto Stable Road shall be designated to allow only right hand turns.
- Exterior lighting fixtures shall be designed so as to shine down the surface and not extend onto the property of adjacent owners.
- The freestanding sign shall be a monument style sign.
- Except for the Land Rover column, no building on the property shall be higher than 45 feet.
- Landscape in the required 10' buffer along Stable Road shall include evergreen trees or shrubs so as to provide year-round screening, in addition to deciduous planting. See landscape plan for lot and crown coverage.
- The property shall be developed as an "automobile dealership, new."

**SITE AND ZONING TABULATIONS**

**CURRENT ZONING:** C2 IN CLEARBROOK OVERLAY DISTRICT  
**PROPOSED USE:** AUTOMOBILE DEALERSHIP  
**SITE ACREAGE:** 8.09 ACRES (0.99 ACRE OF SITE DEVELOPMENT AREA)  
**MINIMUM LOT AREA REQUIRED:** 15,000 S.F.  
**MINIMUM FRONTAGE REQUIRED:** 75'  
**MINIMUM REQUIRED SETBACKS:**  
 FRONT: 30' (VARIANCE APPROVED AUGUST 21, 2002 REDUCES FRONT SETBACK OF SHOWROOM D TO 15' AND PERMITS A SETBACK OF AT LEAST 20' FOR PARKING STRUCTURES)  
 REAR: 15'  
 SIDE YARD: NONE  
**MAXIMUM HEIGHT ALLOWED:** 35' OR 3 STORIES, WHICHEVER IS LESS  
**PROPOSED BUILDING HEIGHT:** 25'  
**MAXIMUM BUILDING COVERAGE:** 50%  
**PROPOSED BUILDING COVERAGE:** 15.5% (6,700 SF)  
**SEE LANDSCAPE PLAN FOR LOT AND CROWN COVERAGE**  
**OFFSTREET PARKING REQUIRED: (FOR SITE DEVELOPMENT AREA ONLY)**  
**SERVICE/ADMINISTRATION AREA:** 1 SERVICE BAY @ 2 SPACES/BAY = 2 SPACES ADMIN (2,650 SF) @ 1 SPACE/300 SF = 9 SPACES  
**SHOWROOM:** 16 SPACES  
**TOTAL SPACES REQUIRED:** 27 SPACES  
**OFFSTREET PARKING PROVIDED:** 27 SPACES (ALL OTHER SPACES ARE FOR DISPLAY OF NEW AND USED VEHICLES)

**GENERAL NOTES**

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP #88.03-1-33.00 AND #88.03-1-35.00.
- OWNER/DEVELOPER: CROSSROADS OF ROANOKE, INC 5000 FRANKLIN ROAD, SWF ROANOKE, VIRGINIA 24018
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2011.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2001, UPDATED IN 2011.
- A TITLE REPORT WAS NOT FURNISHED FOR THIS PROPERTY.
- ALL DEVELOPMENT FOR THIS SITE SHALL BE SUBJECT TO THE REQUIREMENTS OF THE CLEARBROOK VILLAGE OVERLAY DISTRICT (CVOV) DESIGN GUIDELINES.
- NO VISIBLE FLAT OR SHED ROOFS WILL BE PERMITTED.
- A PORTION OF THE SOUTHERNMOST END OF THE CURRENT PARCEL LIES WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 51161C060D. THE PROJECT AREA WILL BE SUBMITTED AS A PART OF THIS DEVELOPMENT AND THE PROPOSED PARCEL, AS SHOWN HEREON, DOES NOT LIE WITHIN A FLOOD HAZARD AREA.
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.
- THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY AN EXISTING PRIVATE ROAD.
- ALL NEW SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJACENT PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
- A SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF SIGNAGE ON SITE PER COUNTY SIGN REGULATION SECTION 30-83. NO NEW SIGNAGE IS PROPOSED WITH THIS PROJECT.
- NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, THE WESTERN VIRGINIA WATER AUTHORITY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
- ANY TOPOGRAPHIC CHANGES FROM THE APPROVED PLANS MAY REQUIRE ADDITIONAL DRAINAGE STRUCTURES AND EASEMENTS AS DEEMED NECESSARY BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND ROANOKE COUNTY.



**LUMSDEN ASSOCIATES, P.C.**  
 ENGINEERS-SURVEYORS-PLANNERS  
 ROANOKE, VIRGINIA  
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 FAX: (540) 772-9945  
 P.O. BOX 26669  
 ROANOKE, VIRGINIA 24018  
 E-MAIL: MAIL@LUMSDENPC.COM

HOWARD P. BOGERS, II  
 Lic. No. 000920  
 3/10/12  
 LANDSCAPE ARCHITECT

**OVERALL DEVELOPMENT MASTERPLAN, NOTES AND DETAILS**

**APPROVED**  
 SITE DEVELOPMENT PLANS FOR  
**ROANOKE INFINITI**  
 PREPARED FOR  
 William G. Daniel & Associates, P.A.  
 CAVE SPRING MAGISTERIAL DISTRICT  
 ROANOKE COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: March 10, 2012  
 SCALE: AS SHOWN  
 COMMISSION NO: 11-219  
 SHEET 2 OF 8