## STANDARD VIRGINIA DEPARTMENT OF TRANSPORTATION NOTES

STREETS SHALL BE GRADED AND PAVED IN ACCORDANCE WITH THE MOST CURRENT VERSIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION'S ROAD AND BRIDGE SPECIFICATIONS AND ROAD AND BRIDGE STANDARDS. ALL STRUCTURAL COMPONENTS ERECTED WITHIN A PROPOSED VDOT RIGHT OF WAY SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT VERSIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION'S ROAD AND BRIDGE SPECIFICATIONS AND ROAD AND BRIDGE STANDARDS. ALL MATERIALS USED WITHIN A PROPOSED VDOT RIGHT OF WAY SHALL BE TESTED IN ACCORDANCE WITH STANDARD POLICIES. THE DEVELOPER MUST CONTACT THE OFFICE OF THE RESIDENT ENGINEER, PRIOR TO BEGINNING ANY CONSTRUCTION TO OBTAIN THE INSPECTION AND TESTING PROCEDURES. THE DEVELOPER SHALL PROVIDE TEST REPORTS. AT THE DEVELOPER'S EXPENSE. FROM INDEPENDENT LABORATORIES. THE RESIDENT ENGINEER MUST APPROVE ALL INDEPENDENT LABORATORIES.

THE PAVEMENT DESIGNS SHOWN ARE BASED ON A SUB-GRADE CBR VALUE OF 10 OR GREATER. THE SUB-GRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY AND THE RESULTS SUBMITTED TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO BASE CONSTRUCTION. SHOULD THE SUB-GRADE CBR VALUES BE LESS THAN 10, THE PAVEMENT DESIGN SHALL BE REVISED AND APPROVED BY THE RESIDENT ENGINEER PRIOR TO PROCEEDING WITH ANY PAVING OPERATION.

THE SUB-GRADE MUST BE APPROVED BY THE RESIDENT ENGINEER PRIOR TO PLACEMENT OF THE BASE. EACH LAYER OF THE PAVEMENT SHALL BE APPROVED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION FOR DEPTH. TEMPLATE AND COMPACTION BEFORE THE NEXT LAYER OF PAVEMENT IS APPLIED.

ALL NECESSARY UTILITY LATERALS ALONG WITH PROVISIONS FOR CONDUIT (i.e. WATER, SEWER, STORM, GAS AND TELEPHONE) SHALL BE CONSTRUCTED PRIOR TO PLACEMENT OF THE BASE MATERIAL.

GAS OR PETROLEUM TRANSMISSION LINES WILL NOT BE PERMITTED WITHIN THE PAVEMENT (BACK OF CURB TO BACK OF CURB) OR THE SHOULDER ELEMENT. SERVICE LATERALS CROSSING THE PAVEMENT, AND PIPE LINES LOCATED OUTSIDE THE PAVEMENT BUT INSIDE THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMITY WITH ASA B 31.8 SPECIFICATIONS AND SAFETY REGULATIONS. DISTRIBUTION LINES WITH PRESSURES LESS THAN 120 psi ARE UNAFFECTED BY THE ABOVE.

PERMITS ARE NOT REQUIRED FOR ANY UTILITIES WITHIN THE PROPOSED STREET RIGHT-OF-WAY PRIOR TO ACCEPTANCE OF THE STREET INTO THE SECONDARY HIGHWAY SYSTEM. HOWEVER, ANY RIGHT, TITLE OR INTEREST GRANTED TO A UTILITY COMPANY FOR PLACEMENT OF UTILITIES (e.g. POWER, TELEPHONE, ETC) IN PROPOSED STREETS MUST BE RELEASED PRIOR TO ACCEPTANCE OF THE STREET IN THE SECONDARY SYSTEM.

VDOT STANDARD CG-9D SHALL BE PROVIDED AT ALL ENTRANCES TO PRIVATE LOTS WHERE CURB AND GUTTER IS

DRIVEWAYS CONNECTING TO ROADS WITHOUT CURB AND GUTTER SHALL CONFORM TO THE VDOT STANDARD PE-1. PERMITS SHALL BE REQUIRED FOR ALL PRIVATE ENTRANCES CONSTRUCTED ON THE STREET RIGHT-OF-WAY AFTER ACCEPTANCE OF THE STREETS INTO THE SECONDARY HIGHWAY SYSTEM.

ALL PRIVATE ENTRANCES WITHIN THE RIGHT-OF-WAY SHALL NOT EXCEED EIGHT PERCENT (8%) MAXIMUM GRADE.

EROSION CONTROL AND LANDSCAPING
CARE SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT EROSION, DUST AND MUD FROM DAMAGING ADJACENT PROPERTY, CLOGGING DITCHES, TRACKING PUBLIC STREETS AND OTHERWISE CREATING A PUBLIC NUISANCE TO

THE ENTIRE CONSTRUCTION AREA INCLUDING DITCHES, CHANNELS, BACK OF CURBS AND/OR PAVEMENT IS TO BE BACKFILLED AND SEEDED AT THE EARLIEST POSSIBLE TIME AFTER FINAL GRADING.

DRAINAGE EASEMENTS SHALL BE DEFINED BY EXCAVATED DITCHES OR CHANNELS FOR THEIR FULL LENGTH TO WELL DEFINED EXISTING NATURAL WATERCOURSES.

THE ROAD WILL BE REVIEWED DURING CONSTRUCTION FOR THE NEED OF PAVED DITCHES. IF EROSION IS ENCOUNTERED IN ANY DRAINAGE EASEMENT, IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER TO SOD, RIP RAP, GROUT, PAVE OR AS DIRECTED BY THE RESIDENT ENGINEER TO CORRECT THE PROBLEM.

ALL VEGETATION AND OVERBURDEN SHALL BE REMOVED FROM SHOULDER TO SHOULDER PRIOR TO CONDITIONING (CUTTING AND/OR PREPARATION) OF THE SUB-GRADE.

### INTERSECTION PAVEMENT RADIUS

A MINIMUM PAVEMENT RADIUS OF TWENTY-FIVE FEET (25') IS REQUIRED AT ALL STREET INTERSECTIONS.

CONNECTIONS TO STATE MAINTAINED ROADS
WHILE THESE PLANS HAVE BEEN APPROVED, SUCH APPROVAL DOES NOT EXEMPT CONNECTIONS WITH EXISTING STATE-MAINTAINED ROADS FROM CRITICAL REVIEW DURING THE LIFETIME OF THE PERMIT. FIELD REVISIONS TO THE PERMIT SHALL BE MADE AS NEEDED IN ORDER TO ACCOMMODATE THE PREVAILING CONDITIONS AND TO ACCOMMODATE SAFETY ACCOMPANIMENTS SUCH AS TURNING LANES.

### STANDARD GUARDRAIL WITH SAFETY END SECTIONS MAY BE REQUIRED FOR FILLS AS DEEMED NECESSARY BY THE RESIDENT ENGINEER. AFTER COMPLETION OF ROUGH GRADING OPERATIONS. THE OFFICE OF THE RESIDENT ENGINEER SHALL BE NOTIFIED SO THAT A FIELD REVIEW CAN BE MADE OF THE PROPOSED LOCATIONS.

WHERE GUARDRAILS ARE TO BE INSTALLED, THE SHOULDER WIDTH SHALL BE INCREASED IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS AND SPECIFICATION.

STORM DRAINAGE
A FIELD REVIEW SHALL BE MADE DURING CONSTRUCTION TO DETERMINE THE NEEDS AND LIMITS OF PAVED DITCHES AND DITCH STABILIZATION TREATMENTS, AND TO DETERMINE THE NEED AND LIMITS OF ADDITIONAL DRAINAGE EASEMENTS. ALL DRAINAGE EASEMENTS MUST BE CUT AND MADE TO FUNCTION TO A NATURAL WATERCOURSE. ANY EROSION ENCOUNTERED IN AN EASEMENT MUST BE CORRECTED BY WHATEVER MEANS NECESSARY PRIOR TO SUBDIVISION ACCEPTANCE.

DITCH SIDE SLOPES ARE TO BE FOUR TO ONE (4:1) FOR DITCH WIDTHS OF SIX FEET (i.e. TO THE DITCH CENTERLINE) OR GREATER AND THREE TO ONE (3:1) FOR DITCH WIDTHS OF FOUR FEET OR FIVE FEET, UNLESS OTHERWISE SPECIFIED IN THE PLANS.

THE OWNER SHALL OBTAIN AN ENTRANCE PERMIT TO THE VIRGINIA DEPARTMENTS OF TRANSPORTATION'S RIGHT-OF-WAY FROM THE RESIDENT ENGINEER PRIOR TO ANY ROAD CONSTRUCTION.

INSPECTION
AN INSPECTOR WILL NOT BE FURNISHED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION EXCEPT FOR PERIODIC PROGRESS INSPECTIONS, THE PREVIOUSLY MENTIONED FIELD REVIEWS AND CHECKING FOR REQUIRED STONE DEPTHS. THE DEVELOPER WILL BE REQUIRED TO POST A SURETY TO GUARANTEE THE ROAD FREE OF DEFECTS FOR ONE YEAR AFTER ACCEPTANCE BY THE DEPARTMENT OF TRANSPORTATION.

STREET MAINTENANCE
THE STREETS MUST BE PROPERLY MAINTAINED UNTIL ACCEPTANCE. WHEN ALL REQUIREMENTS HAVE BEEN MET FOR ACCEPTANCE, A FINAL INSPECTION WILL BE MADE TO DETERMINE THAT THE STREET HAS BEEN PROPERLY

### UNDERGROUND UTILITIES

THE CONTRACTOR SHALL VERIFY BY CONTACTING "MISS UTILITY", THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT THE SITE ENGINEER IMMEDIATELY IF LOCATIONS OR ELEVATIONS ARE DIFFERENT FROM THAT SHOWN ON THE PLANS. IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLAN, CALL "MISS UTILITY".

PARKING REQUIREMENTS
THE LOTS CREATED HEREON SHALL CONFORM TO THE COUNTY OF ROANOKE ZONING ORDINANCE AS SPECIFIED IN SEC. 30-91-9. THIS SECTION STATES THAT FOR EACH SINGLE FAMILY DWELLING, TWO (2) OFF-STREET SPACES SHALL BE PROVIDED.

## UTILITY NOTES

REFER TO SHEET C-6 FOR ADDITIONAL CONSTRUCTION NOTES FOR THE PUBLIC WATER & SANITARY SEWER LINES.

### GENERAL NOTES

All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County and the Western Virginia Water Authority and the Virginia Department of Transportation.

The contractor or developer is required to notify the Roanoke County Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:

- A. Installation of approved erosion control devices
- B. Clearing and grubbing C. Subgrade excavation
- D. Installing storm sewers or culverts
- Setting curb and gutter forms
- Placing curb and gutter G. Placing other concrete
- H. Placing gravel base
- I. Placing any roadway surface
- J. Installing water lines K. Installing sanitary sewer lines

A pre-construction conference shall be scheduled with the Roanoke County Engineering Division, to be held at least one (1) day prior to any construction.

Measures to control erosion and siltation must be provided prior to beginning construction. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.

A permit must be obtained from the V.D.O.T. Salem Residency Office, prior to beginning construction in the highway right-of-way.

Plan approval does not guarantee issuance of any permits by V.D.O.T.

An approved set of plans and all permits must be available at the construction site.

Field construction shall honor proposed drainage divides as shown

All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

All springs shall be capped and piped to the nearest storm sewer or natural watercourse. The pipe shall be 6 inch minimum diameter and conform to V.D.O.T. Standard SB-1.

Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.

Construction debris shall be containerized in accordance with the Virainia Litter Control Act. No less than one litter receptacle shall be provided on site.

The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.

The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.

Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1—800—552—7001.

The developer or contractor shall supply the County of Roanoke with correct As-Built plans before final acceptance.

All work shall be subject to inspection by Roanoke County and/or V.D.O.T. inspectors.

Field corrections shall be approved by the Roanoke County Engineering Division prior to such construction.

Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer.

Installation of all storm drain pipes and related pipe bedding and trench backfilling must conform to the 2001 VDOT Road & Bridge Standards.

Any new alignments, changes in grades, alternate pipe sizes or manholes will require a new set of plans stamped by the consulting engineer. County of Roanoke Engineering Division will review plans within one (1) day of submittal. Plan sheets can be 8.5"x11" if the information is legible.

Contractor shall refer to the Westen Virginia Water Authority Standard Water and Sewer Regulations for construction details and installation methods as required to complete the proposed public facilities as indicated by these

Maintenance of the constructed roadways and storm drain systems are the responsibility of the developer until such time that the Virginia Department of Transportation accepts the roads into the Secondary Road System and the County of Roanoke releases all sureties on the development for the drainage systems located in public easements.

### ENGINEER'S NOTES

CALDWELL WHITE ASSOCIATES ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

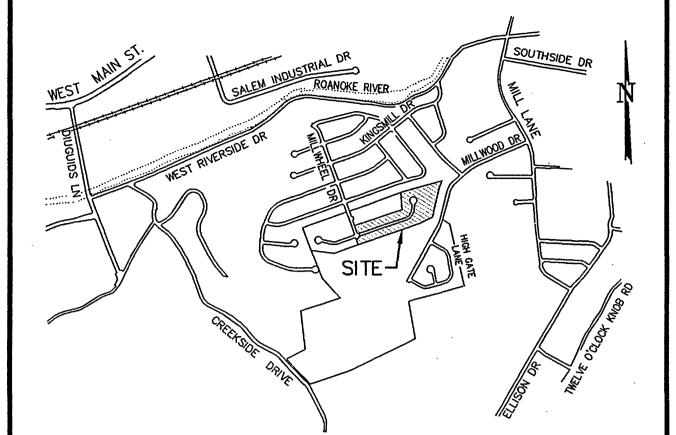
ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

CALDWELL WHITE ASSOCIATES DOES NOT GUARANTEE THE COMPLETION OR QUALITY OF PERFORMANCE OF THE PERFORMANCE OF THE CONTRACTS OR THE COMPLETION OR QUALITY OF PERFORMANCE OF CONTRACTS BY SUBCONTRACTORS OR OTHER THIRD PARTIES.

SOURCE OF TOPOGRAPHIC MAPPING IS CITY OF SALEM AERIAL MAPPING, DATED APRIL, 1992

BOUNDARY INFORMATION WAS PROVIDED BY MAP ENTITLED BOUNDARY SURVEY FOR JOAN J. DORSEY, PATRICIA J. STINNETT & RUSSLEN, L.L.C." DATED DEC. 28, 2001 AND RECORDED IN THE CIRCUIT COURT OF ROANOKE COUNTY ON JAN. 11, 2002 IN P.B. 25, Pg. 31.

### VICINITY MAP



HEET #	TITLE
C-1 C-2 C-3 C-4 C-5 C-6 C-7	COVER SHEET RECORD PLATECORD PLATECORD PLATECORD PLATECORD PLATECORD PLATECORSTRUCTION DIMENSIONAL
C-8 C-9 C-10 C-11 C-12	DIMENSIONAL GRADING & S GRADING & S ROAD & UTIL UTILITY PROF

**EXISTING** 

100.5 E

---- x ----- x -----

### INDEX

AN VIEW ON DETAILS & NOTES & UTILITY PLAN & UTILITY PLAN SOIL EROSION PLAN SOIL EROSION PLAN ILITY PROFILES FILES

SYMBOLS

SPOT ELEVATION

SANITARY SEWER LINE

OVERHEAD CABLE TELEVISION LINE

CONTOURS

WATERLINE

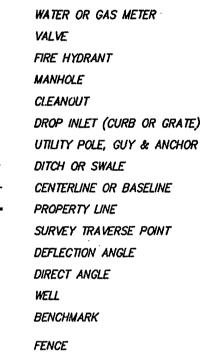
FG=100.5

# LEGEND

	710011	. 11/11/011	<u> </u>
1	ARROW HEAD TOP OF	MIN	MINIMUM
	FIRE HYDRANT	MON	MONUMENT
OX	APPROXIMATE	NBL	NORTH BOUND LANE
1	ASPHALT	PROP	PROPOSED
	BOTTOM OF CURB	PUE	PUBLIC UTILITY EASEMENT
	BITUMINOUS	PVMT	PAVEMENT
•	BUILDING	R	RADIUS
	BLOCK	RT	RIGHT
	BENCHMARK	R.O.W.	RIGHT OF WAY
	BOTTOM OF WALL	REQD	REQUIRED
	CINDER BLOCK	RR	RAILROAD
	CURB & GUTTER	RYS	REAR YARD SETBACK
	CORRUGATED METAL PIPE	SAN	SANITARY
7	CONCRETE	SBL	SOUTH BOUND LANE
•	CORNER	SD	STORM DRAIN
	DOUBLE	SECT	SECTION
	DEFLECTION	SE .	SLOPE EASEMENT
	DROP INLET	<i>5</i> 5	SANITARY SEWER
	DIAMETER	SSE	SANITARY SEWER EASEMENT
	DRAINAGE EASEMENT	STA	STATION
	EAST BOUND LINE	STD	STANDARD
	ELECTRIC	STO	STORAGE
•	ELEVATION	SYS	SIDE YARD SETBACK
•	ENTRANCE	TBM	TEMPORARY BENCHMARK
	EDGE OF PAVEMENT	TC	TOP OF CURB
	ENDWALL	TEL	TELEPHONE
r	EXISTING	TRANS	TRANSFORMER
	FOUNDATION	TW	TOP OF WALL
	FINISHED FLOOR	TYP	TYPICAL
	FINISH GRADE	<b>VDOT</b>	VIRGINIA DEPARTMENT OF
	HIGH POINT		TRANSPORTATION
	INVERT	<i>VERT</i>	VERTICAL
	IRON PIN	WBL.	WEST BOUND LANE

**ABBREVIATIONS** 

### ---- 100 ----===8"ss==== = = 8"sd == = STORM DRAIN OVERHEAD ELECTRIC LINE OVERHEAD TELEPHONE LINE UNDERGROUND TEL OR ELEC LINE



TREE LINE

## NAME of DEVELOPMENT

**ASPH** 

# RIVER OAKS at RUSSLEN FARMS

WESTERN VIRGINIA WATER AUTHORITY

AS - BUILT 5/25/2005

DEVELOPMENT PLAN APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY				
Department		Date		
Development Review	St	1/24/05		
Engineering	MB	1/26/05		
Water & Sower	RRB	1/26/05		
Planning & Zoning	m	1/26/05		
		7		

LOCATION

CONTRACTOR

TAX MAP #(s)

2 9/9/04 Per ROANOKE CO. 2nd REVIEW

Date

REVISIONS

Remarks

1 7/9/04 Per ROANOKE CO. & VDOT 1st REVIEWS

3 1/21/05 ADD EASEMENTS & PIPE STUBS PER OWNER

EXTENSION OF RIVER OAKS DRIVE CATAWBA MAGISTERIAL DISTRICT ROANOKE COUNTY, VIRGINIA

RUSSLEN FARMS DEVELOPMENT, LLC OWNER 494 GLENMORE DRIVE SALEM, VIRGINIA 24153

MINIMUM BUILDING LINE

THOMAS BROS, L.C. 523 RUTHERFORD AV. NE ROANOKE, VIRGINIA 24016

SECTION 2

56.03-02-43

Checked:\_

N.B. # Russlen Farms

Designed:\_\_\_\_ ALTH OF Date: Dec. 17, 2003 <sup>2</sup>Frank B. Caldwell III <sup>8</sup> NO. 9184 w.o. # \_\_01-0090

OWNER/ DEVELOPER, AM AWARE OF THE SITE DESIGN REQUIREMENTS IMPOSED BY THIS SITE DEVELOPMENT PLAN AND OTHER APPLICABLE COUNTY CODES, I HEREBY CERTIFY THAT I AGREE TO COMPLY WITH THESE RE-QUIREMENTS. UNLESS MODIFIED IN ACCORDANCE WITH LOCAL LAW.

NOTE: THERE IS AN EXISTING LAND DISTURBING PERMIT ON RECORD WITH THE COUNTY OF ROANOKE, DEPARTMENT OF COMMUNITY DEVELOPMENT FOR THIS PROPOSED SUBDIVISON. REFER TO APPROVED SITE PLANS ENTITLED 'MASS-GRADING PLAN, PHASE I, RUSSLEN FARMS" PREPARED BY CALDWELL WHITE ASSOCIATES

NOTE: THERE IS AN EXISTING "VPDES" PERMIT ON RECORD WITH THE VIRGINIA

DEPARTMENT OF ENVIRONMENTAL QUALITY FOR THE ACREAGE BEING DISTURBED FOR

THIS PROJECT. REFER TO THE POLLUTION CONTROL PLANS PREPARED BY CALDWELL WHITE ASSOCIATES, DATED OCTOBER 14, 2003.

**m** CWA

# CALDWELL WHITE ASSOCIATES

ENGINEERS / SURVEYORS / PLANNERS

4203 MELROSE AVENUE, NW P.O. BOX 6260 ROANOKE, VIRGINIA 24017 (540) 366-3400 FAX: (540) 366-8702 EMAIL: CWAROANOKE @ AOL.COM

Sheet C-