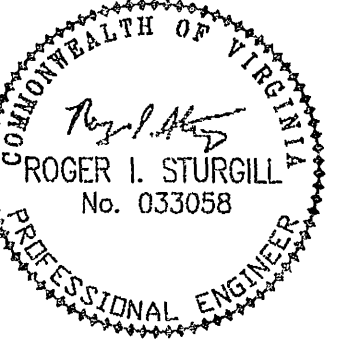
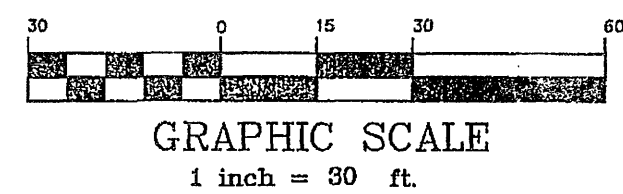
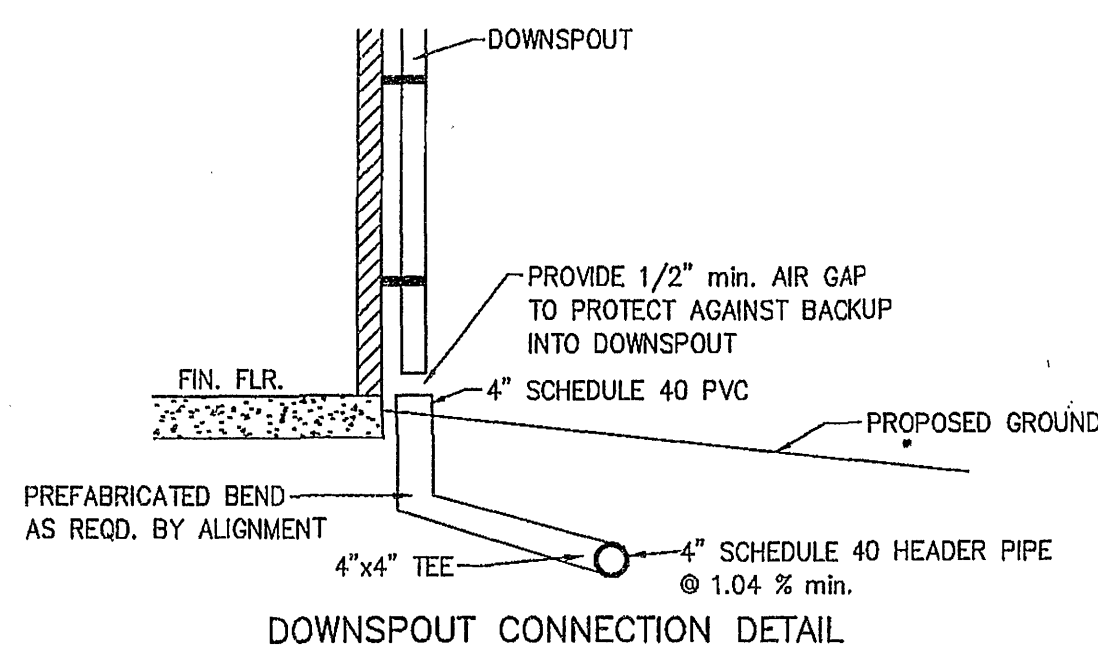
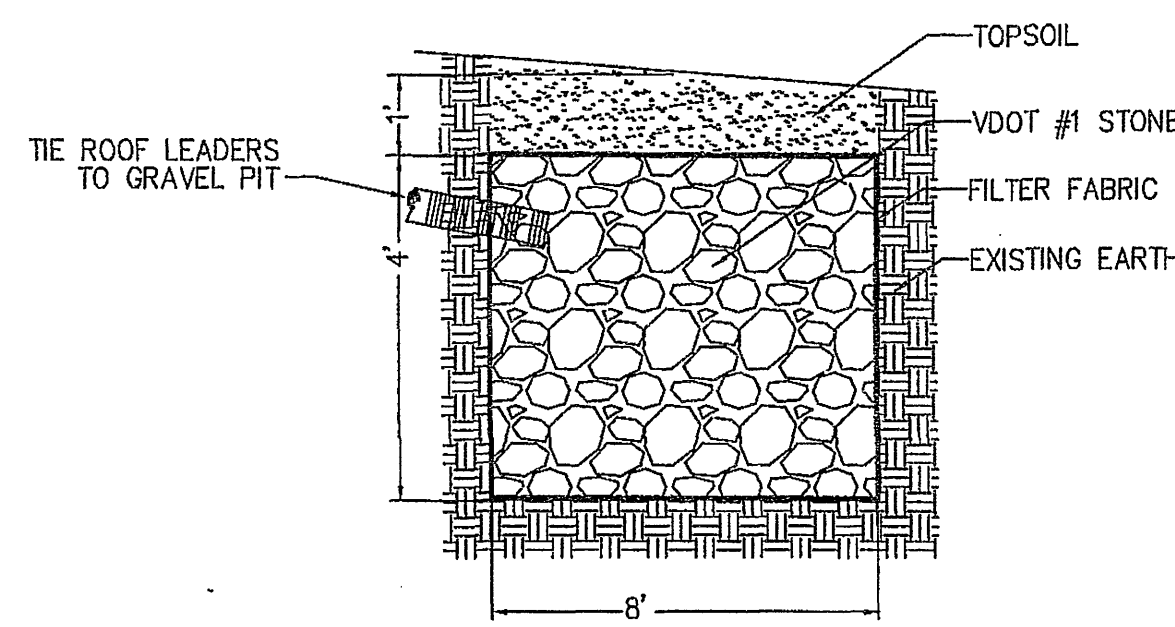
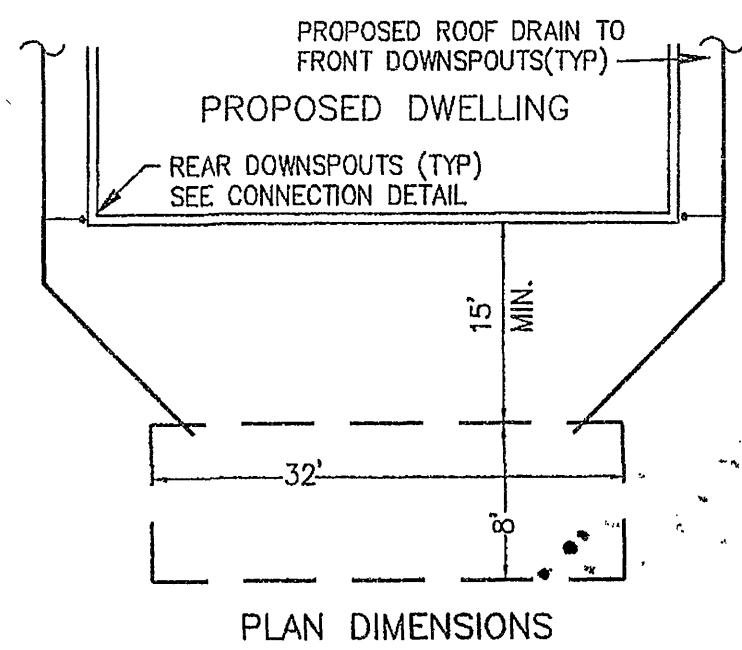




1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 540/772-0580
FAX: 540/772-8050

501 Branchway Road
Richmond, Virginia 23298
Phone: 804/754-0571
FAX: 804/764-2835

850 Technology Park Drive
Suite 200
Glen Allen, Virginia 23059
Phone: 804/858-0192
FAX: 804/858-0193

102 Hubbard Street
Blacksburg, Virginia 24050
Phone: 540/981-0881
FAX: 540/981-0882

1557 Commerce Road
Suite 201
Virginia, Virginia 24482
Phone: 540/248-3250
FAX: 540/248-3221

WOODS HILL, SEC. 1
FOXFIELD, SEC. 5
AT RUSSELL FARMS
DIMENSIONAL PLAN
ROANOKE COUNTY, VIRGINIA

DRAWN BY: JVV
DESIGNED BY: JVV
CHECKED BY: SMH
DATE: 10/31/06
REVISIONS:
01/23/06 PER VDOT &
RKE CO. 1ST REVIEW
05/25/06 PER VDOT &
RKE CO. 2ND REVIEW
08/14/06 PER VDOT &
RKE CO. 3RD REVIEW

SCALE: 1" = 30'
SHEET NO. C-5
JOB NO. R0500271.00

SANITARY SEWER MANHOLE AND CLEANOUT INFORMATION

LINE	BEARING	DISTANCE
exist. to 'A'	S. 61°16'21" E.	67.28'
'A' to 'B'	S. 11°26'33" E.	174.30'
'B' to 'C'	S. 78°33'27" W.	89.40'
'C' to 'D'	S. 62°00'54" W.	122.42'
'D' to 'E'	S. 11°26'33" E.	270.60'
'E' to 'F'	S. 60°06'20" W.	201.72'
'F' to 'G'	N. 78°53'19" E.	159.00'
'G' to 'H'	N. 78°33'27" E.	181.00'
'H' to 'J'	N. 52°39'16" E.	90.45'
'J' to 'K'	N. 73°41'16" E.	134.88'
'K' to 'L'	N. 73°41'16" E.	375.00'
'L' to 'M'	N. 73°41'16" E.	380.32'

LOT	DOWNSTREAM MANHOLE	DIST.	TOP OF S.S. MAIN	MIN. F.F. ELEVATION	APPROX. F.F. ELEV.
1	B	173.2	1187.2	1190.2	1197.0 (B)
2	B	93.2	1183.5	1186.5	1193.0 (B)
3	B	22.2	1180.3	1183.3	1189.0 (B)
4	J	14.2	1183.3	1186.3	1189.0 (B)
5	J	77.4	1184.8	1187.8	1192.0 (B)
6	K	12.5	1186.3	1189.3	1194.0 (B)
7	K	82.5	1186.6	1189.6	1195.0 (B)
8	K	152.5	1187.0	1190.0	1195.0 (B)
9	K	222.5	1187.4	1190.4	1194.0 (B)
10	K	292.5	1187.7	1190.7	1193.0 (B)
11	K	366.9	1188.1	1191.1	1193.0 (B)
12	L	57.5	1188.8	1191.8	1193.0 (B)
13	L	127.5	1189.5	1192.5	1193.0 (B)
14	L	197.5	1190.2	1193.2	1193.5 (B)
15	M	—MH—	1192.2	1195.2	1195.5 (B)
16	L	347.1	1191.7	1194.7	1195.5 (B)
17	L	287.7	1191.1	1194.1	1203.0
18	L	203.9	1190.3	1193.3	1202.5
19	L	133.9	1189.6	1192.6	1202.0
20	L	63.9	1188.9	1191.9	1201.5
21	K	368.9	1188.1	1191.1	1201.0
22	K	294.5	1187.7	1190.7	1201.0
23	K	224.5	1187.4	1190.4	1203.0
24	K	154.5	1187.0	1190.0	1204.0
25	K	88.9	1186.7	1189.7	1204.0
26	K	18.9	1186.3	1189.3	1203.0
27	J	83.7	1184.9	1187.9	1201.0
28	J	12.0	1183.2	1186.2	1199.0
29	H	7.6	1181.9	1194.9	1200.0
30	A	56.0	1174.4	1177.4	1188.0 (B)
31	A	107.3	1176.5	1179.5	1193.0 (B)
32	B	22.2	1180.3	1183.3	1195.0 (B)
33	B	96.2	1183.7	1186.7	1197.0 (B)
34	B	176.2	1187.3	1190.3	1199.0 (B)
35	E	79.3	1193.6	1196.6	1207.5
36	E	23.3	1193.0	1196.0	1209.0
37	E	85.2	1194.1	1197.1	1210.5
38	E	129.9	1194.8	1197.8	1212.0

STATIONS AND OFFSETS ARE MEASURED ALONG A BASELINE FROM CENTER OF MANHOLE TO CENTER OF MANHOLE WITH 0+00.0 BEING THE BEGINNING AT THE LOWER MANHOLE.

CLEANOUT ELEVATIONS ARE BASED ON A MINIMUM SLOPE OF 2.08% WITHIN THE RIGHT-OF-WAY OR EASEMENTS AND MAY BE INCREASED AS DICTATED BY THE SURROUNDING TOPOGRAPHY.

THE MIN. FLOOR ELEVATION IS BASED ON SEC. 200.02-2-G-1-H OF THE WESTERN VIRGINIA WATER AUTHORITY WATER & SEWER REGULATIONS. LOT OWNERS REQUESTING A LOWER SERVICE ELEVATION WILL REQUIRE THE USE OF A PRIVATE SEWAGE PUMP FACILITY, INSTALLED AND MAINTAINED BY THE HOMEOWNER.

AG-Built K. Winslow 3.15.2011

MATCHLINE, SEE SHEET C-5

NOTE:
ALL ROOF DRAINS SHALL TIE DIRECTLY TO GRAVEL PITS IN REAR OF HOUSES AND SHALL NOT DISCHARGE TO GRADE.

ROOFTOP GUTTER SCREENS ARE NEEDED TO TRAP ANY LEAVES OR OTHER DEBRIS AND MUST BE CLEARED AND MAINTAINED REGULARLY.

MINIMUM VOLUME OF EXCAVATED PIT SHALL BE 1020 CF (NOT INCLUDING THE 1' OF MINIMUM COVER).

PRIOR TO BACKFILLING W/STONE, THE G.C. SHALL COORDINATE AN INSPECTION W/COUNTY OF ROANOKE INSPECTORS TO VERIFY SIZE/CAPACITY OF EXCAVATED HOLE, INSTALLATION OF FILTER FABRIC AND INSTALLATION OF ROOF LEADERS. AFTER APPROVAL FROM THE INSPECTOR, G.C. SHALL INSTALL STONE, COMPLETE FABRIC WRAPPING, AND COVER WITH A MIN. OF 12" BACKFILL.

PRIVATE SWM AREA

***NOTE:
AN ACCEPTABLE ALTERNATE WILL BE TO USE TWO (2) 1250 GAL. SINGLE COMPARTMENT SEPTIC TANKS (PER HOUSE). TANKS SHALL REST ON A FILTER FABRIC OVER A 6" BASE OF GRAVEL.

TO FACILITATE THE DISCHARGE OF RUN-OFF, A 1" HOLE SHALL BE PROVIDED ON THE BOTTOM (PER CONTAINER).

Tax #239-1-8
N/F PROPERTY OF
EMMA S. LONG

LOT 'A'
TO BE OWNED BY THE
HOMEOWNERS ASSOCIATION
AREA TO BE USED FOR PASSIVE
RECREATION ONLY
25,390 sf

LOT 15
10,395 sf

LOT 16
14,875 sf

PROPOSED UNDERGROUND SWM
FACILITIES TO BE INSTALLED IN
ACCORDANCE WITH DETAILS IN-
DICATED ON THIS SHEET.

LOT 17
8,400 sf

LOT 18
8,400 sf

LOT 19
8,400 sf

LOT 14
11,390 sf

LOT 13
9,800 sf

Tax #239-1-9
N/F PROPERTY OF
MARGARET A. VEST

NEW PAVEMENT SHALL
CONSIST OF 2" SM-9.5A
OVER 6" AGGR. BASE.

8' PRIVATE WATERLINE
EASEMENT
D.B. 1180, PG. 1106

Existing Asphalt
driveway

COORDINATE W/ CITY OF SALEM UTILITY
DEPARTMENT (540)375-3030 TO RELOCATE
THE EXISTING POWER POLE AS INDICATED.

NOTE:
G.C. SHALL COORDINATE RECONSTRUCTION
OF THE 12' WIDE DRIVEWAY ALONG THE
COMMON PROPERTY LINE AS INDICATED
WITH THE ADJOINING PROPERTY OWNERS
TO PROVIDE A CONSISTENT AND SAFE
ACCESS ROUTE.

Tax #239-001-010
N/F PROPERTY OF
CHRISTOPHER C.
OVERSTREET

Tax #56.03-2-21
REMAINING PROPERTY
RUSSELL FARMS
DEVELOPMENT, LLC

FUTURE LOT 41

FUTURE LOT 40

FUTURE LOT 43

FUTURE LOT 42

lot 12