

SITE SUMMARY

OWNER: BRUCE SELIGMAN
1208 CORPORATE CIRCLE
ROANOKE, VA 24018
TAX MAP NUMBER: 5200121
SIZE: 0.437 ACRE
ZONING: C-2
MINIMUM LOT SIZE REQUIRED: 10,000 SF
MINIMUM LOT FRONTAGE: 75 FT
REQUIRED PARKING = 5 SPACES
PARKING PROVIDED = 5 SPACES
PARKING LOT LANDSCAPING REQUIRED = 5%
PARKING LOT LANDSCAPING PROVIDED = 15%

MINIMUM OPEN SPACE: 10%
OPEN SPACE PROVIDED: 73%
MAXIMUM FLOOR AREA RATIO: 5
FLOOR AREA RATIO: 0.08
MAXIMUM BUILDING HEIGHT: 45.0 FT
MAXIMUM LOT COVERAGE ALLOWED: 60%
LOT COVERAGE PROVIDED: 8%
SETBACKS: FRONT - 25 FT MBL
SIDE - 0 FT WHEN ADJOINING C-2
20 FT WHEN ADJOINING RESIDENTIAL
REAR - 25 FT

SEDIMENT TRAP DATA

AREA=0.44 ACRE
REQUIRED VOLUME= 59 CY
REQUIRED WET STORAGE=29.5 CY
REQUIRED DRY STORAGE=29.5 CY

WET STORAGE DESIGN
12'X34'
STORAGE = 29.5 CY

DRY STORAGE DESIGN
18'X40'
STORAGE= 29.5 CY

TOTAL STORAGE = 59 CY

EROSION AND SEDIMENT CONTROL GENERAL NOTES:

1. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE LEFT DORMANT FOR MORE THAN ONE YEAR.
2. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
3. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE LOCAL PROGRAM ADMINISTRATOR OR HIS DESIGNATED AGENT, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
4. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT CARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
5. STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

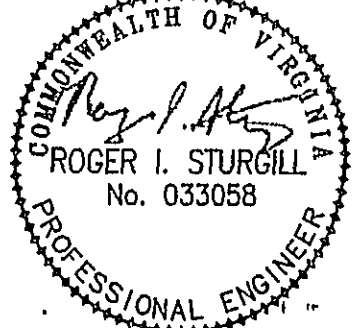
NOTES

1. COORDINATE ALL BUILDING, RAMP, STAIR, AND RAILING DIMENSIONS AND DETAILS WITH ARCHITECTURAL PLANS.
2. CONTRACTOR MUST SUBMIT EROSION AND SEDIMENT CONTROL PLAN FOR ANY OFFSITE BORROW/FILL MATERIAL PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
3. ALL ROOF DRAINS MUST CONNECT TO THE ROOF LEADER SHOWN AND EMPTY INTO THE INFILTRATION AREA.

AGGREGATE BASE
COURSE-21B

EROSION CONTROL LEGEND

3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	3.13	TEMPORARY SEDIMENT TRAP	ST
3.03	CONSTRUCTION ROAD STABILIZATION	CRS	3.31	TEMPORARY SEEDING	TS
3.05	SILT FENCE	SF	3.32	PERMANENT SEEDING	PS
3.07	STORM DRAIN INLET PROTECTION	IP	3.35	MULCHING	MU
3.36	SOIL STABILIZATION BLANKETS & MATTING	B/M			



BALZER AND ASSOCIATES, INC.
REFLECTING TOMORROW
www.balzer.cc
PLANNERS • ARCHITECTS
ENGINEERS • SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 540/772-9580
Fax: 540/772-8050

501 Branchway Road
Richmond, Virginia 23230
Phone: 804/701-0571
Fax: 804/704-2835

880 Technology Park Drive
Suite 200
Glenn Allen, Virginia 23060
Phone: 804/655-0132
Fax: 804/655-0133

102 Hubbard Street
Blacksburg, Virginia 24060
Phone: 540/851-0851
Fax: 540/851-0852

1557 Commerce Road
Suite 201
Virginia, Virginia 24462
Phone: 540/248-9220
Fax: 540/248-9221

SELIGMAN OFFICE BUILDING
LAYOUT, GRADING & E.C. PLAN
CITY OF ROANOKE
ROANOKE, VIRGINIA

DRAWN BY: JRQ
DESIGNED BY: JRQ
CHECKED BY: SMH
DATE: 12-22-04
REVISIONS:
2-1-05
3-8-05

SCALE: 1" = 10'
SHEET NO.
C2
JOB NO.
R0400272.00

LINE TABLE						
LINE	BEARING	LENGTH				
L1	N06°44'20"W	19.29				

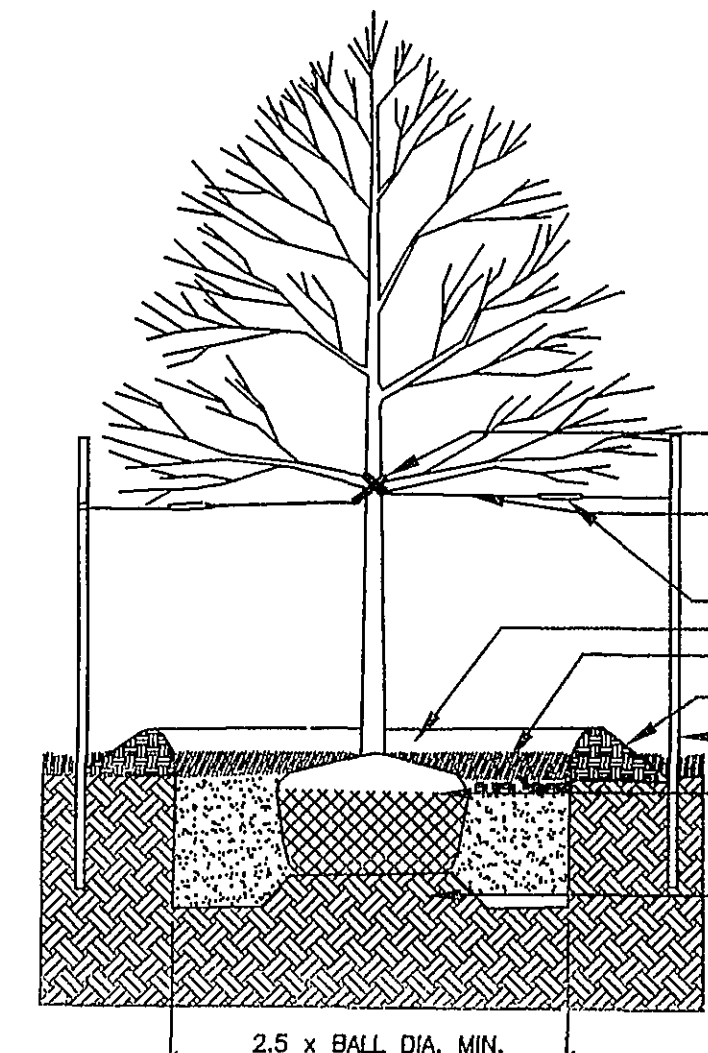
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD BEARING	CHORD	DELTA
1	34.03'	375.00'	17.03'	N04°08'22"W	34.02'	5°11'58"
2	30.77'	25.00'	17.68'	N28°31'31"E	28.87'	20°31'43"
3	56.76'	50.00'	31.88'	N31°16'13"E	53.76'	65°02'21"

CONNECT WATERLINE
TO EXISTING METER

INSTALL MONITORING
MANHOLE/
TOP = 1020.0'
INV = 1010.0'
(FIELD VERIFY EXISTING
INVERT INFORMATION)

CONTRACTOR TO
LOCATE AND VERIFY
EXIST. CLEANOUT
CONNECT TO
EXIST. CLEANOUT

SANITARY
SEWER MANHOLE
RIM=1016.80'
N. INV.=1006.80'
W. INV.=1006.85'
S. INV.=1006.92'
E. INV.=1006.84'
SHELF=1007.40'



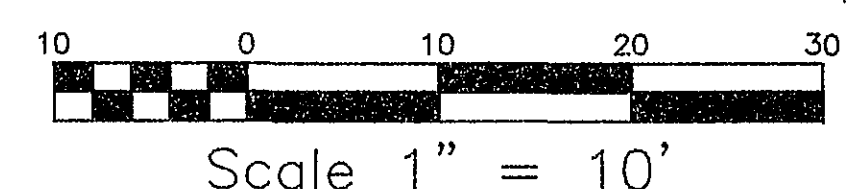
PLANTING DETAIL
NO SCALE

PROP. RED OAK
QUERCUS RUBRA (2.5" CAL)
SET TREE AT ORIGINAL GRADE
MULCH: PINE BARK OR WOOD CHIPS 3" MIN. (3 EACH)
SOIL SAUCER: USE PREPARED SOIL 6" MIN.
WOOD DEADMEN (3)
ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3
OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE
TOTALLY REMOVED
PREPARED SUBSOIL TO FORM PEDESTAL TO PREVENT
SETTLING

DRAIN INLET
& MANHOLE

N/F
GARRETT & TRACEY THOMPSON
INST. 030005868
TAX PARCEL 5200123

STRUCTURES DESIGN/BUILD
AS-BUILTS FOR 1214 CORPORATE CIRCLE SW
SIGNATURE: *[Signature]*
DATE: 8-12-05



Scale 1" = 10'

