

SITE STATISTICS:

Tax Number: 2212814 M.B. 1, PG. 2548
 Parcel Total Area: 0.631 Acre (27,500 SF)
 Disturbed Area: 0.597 Acre (26,000 SF)
 Water: Public Water along Shenandoah Avenue, N.W.
 Site requires 3/4" meter & lateral.
 Sewer: Public Sanitary Sewer within easement along rear of property.
 Site requires installation of 6" lateral & sampling manhole at easement.
 Zone: I-1
 Proposed Use: Contractors shop, heavy equipment

Gross Building Area = 6,000 SF, Net Building Area = 4,500 SF (75% of Gross)
 Required Parking Spaces: Per Chart (1 space / 600 SF Net Building) = 8 spaces
 Allowable Parking Reduction: 2 parking spaces for initial 4,000 sf, and
 1 parking space / 600 SF of Net Building Area beyond 4,000 sf = 3 spaces required

Proposed Parking Spaces: 5 spaces, including 1 handicap
 Building Setbacks: Front: 30' Maximum (12' Actual)
 Side: None (6' Actual)
 Rear: None (65.5' Actual)

Building Height: No Requirement (24' Actual)
 Maximum Impervious Surface Ratio: 90% (75% Actual, includes gravel area)
 Preservation of Existing Trees: A number of trees with 2-inch caliper exist along the rear property line; These trees shall be preserved.
 Required Tree Canopy: 10% of site (27,500 SF x 0.10 = 2,750 SF)
 Parking Area Landscaping: Eight foot buffers along parking next to right of ways. Buffer shall include deciduous trees & evergreen or deciduous shrubs.

Parking Tree Canopy: Not Required (Less than 7 Spaces)
 Maximum Driveway Width: 30' (30' Actual)

AVAILABILITY NO: 06-199

SEWER NOTES:

THIS PROJECT REQUIRES THE INSTALLATION OF A COMMERCIAL SANITARY SEWER LATERAL AND A SAMPLING MANHOLE.

THE CONTRACTOR SHALL CONTACT THE WESTERN VIRGINIA WATER AUTHORITY (WVWA) AT 853-5700 AT LEAST THREE (3) DAYS PRIOR TO REQUIRING ACTUAL CONNECTIONS.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING ALL MANHOLES AFTER PAVING. MANHOLE TOPS SHALL BE ADJUSTED TO GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WVWA.

HOUSE CONNECTIONS ARE TO BE MADE WITH 4" PIPE INSTALLED ON A MINIMUM GRADE OF 1/4 INCH TO 1 FOOT IN THE RIGHT OF WAY.

LATERALS FROM MANHOLES SHALL BE P.V.C. OR DUCTILE IRON OF SUFFICIENT LENGTH TO PROVIDE TWO (2) FEET OF BEARING ON NATURAL GROUND. THE TRANSITION FROM DUCTILE IRON TO CONCRETE PIPE SHALL BE MADE WITH AN ADAPTER IN THE RIGHT OF WAY.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO VDOT STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

ALL CONSTRUCTION AND FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE WVWA DESIGN AND CONSTRUCTION STANDARDS AND DETAILS, FIRST EDITION, DATED JULY 2004.

WATER NOTES:

THIS PROJECT REQUIRES THE INSTALLATION OF A WATER LATERAL TYING INTO THE EXISTING WATER METER. SITE REQUIRES 3/4" METER & 3/4" WATER LINE.

THE CONTRACTOR SHALL CONTACT THE WESTERN VIRGINIA WATER AUTHORITY (WVWA) AT 853-5700 AT LEAST THREE (3) DAYS PRIOR TO REQUIRING ACTUAL CONNECTIONS.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO VDOT STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

WATER MAIN SHALL BE MINIMUM CLASS S2 DUCTILE IRON IN ACCORDANCE TO AWWA C151.

APPLICATION FOR UTILITIES TO SERVE DEVELOPMENT REFERENCE WVWA.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WVWA WATER AND SEWER STANDARDS.

COMPREHENSIVE SITE PLAN

PREPARED FOR

LEWIS S. & SUSAN M. PAULEY

SHENANDOAH AVENUE, N.W.

LOT 5A, BLOCK 10, HYDE PARK

CITY OF ROANOKE, VA

JUNE 14, 2006

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

CITY INSPECTIONS: TO INSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRE-CONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE APPLICANT, BUILDING, ETC. WITH THE DEVELOPMENT INSPECTOR. CALL (540) 853-1227 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION.

RIGHT OF WAY EXCAVATION PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A RIGHT OF WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

LAND DISTURBANCE PERMIT: AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

PLANS AND PERMITS: A COPY OF THE PLANS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.

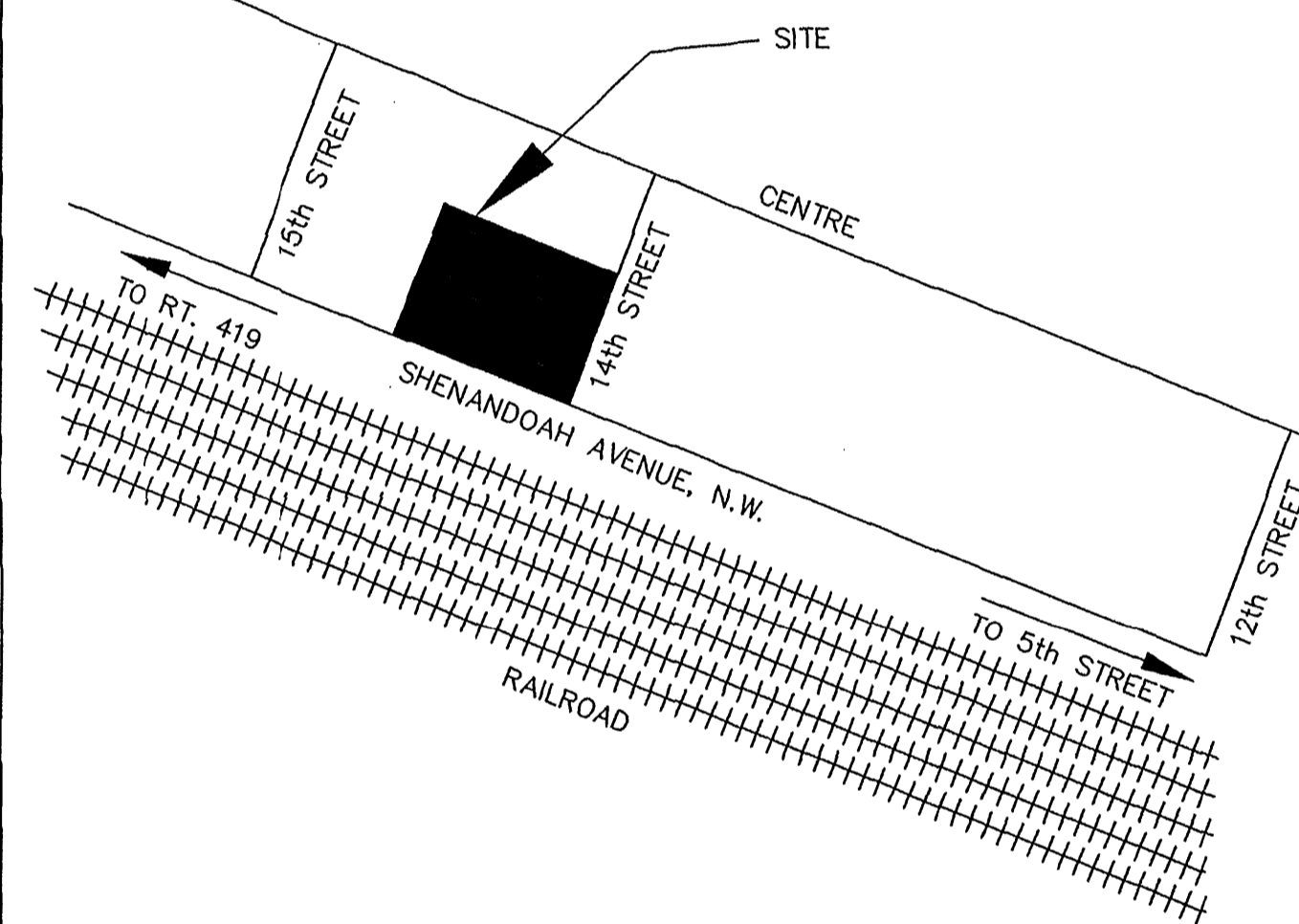
APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS MUST BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

FINAL ACCEPTANCE/CITY: THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

Miss Utility of Virginia
 204 RIVERS BEND BOULEVARD
 CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN VIRGINIA CALL 1-800-552-7001
 VA LAW REQUIRES 48 HOURS NOTICE BEFORE YOU EXCAVATE.



VICINITY MAP
 NOT TO SCALE

SHEET INDEX:

- C01 COVER SHEET
- C02 SITE DIMENSIONAL & UTILITY PLAN
- C03 GRADING AND EROSION & SEDIMENT CONTROL PLAN
- C04 EROSION & SEDIMENT CONTROL NOTES & DETAILS
- C05 PROFILES
- C06 GENERAL DETAILS
- L01 LANDSCAPE PLAN

CONTACT INFORMATION:

Engineer & Surveyor: Parker Design Group, Inc
 816 Boulevard
 Salem, Virginia 24153
 Phone: (540) 387-1153
 Fax: (540) 389-5767

Owner & Developer: L & S Excavating
 Attn: Lewis Pauley
 P.O. Box 7
 New Castle, Virginia 24127
 Phone: (540) 580-1112
 Fax: (540) 864-6699

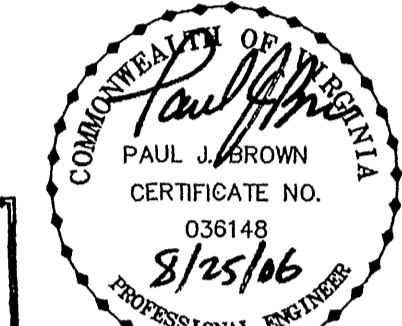
LEGEND:

- CONCRETE
- ASPHALT PAVING
- PAVEMENT REPLACEMENT
- GRAVEL
- PAVERS
- WETLAND AREA
- YARD LIGHT (S.M.H.)
- TYPICAL YARD HYDRANT
- PROP. FIRE HYDRANT
- PROP. AIR RELEASE VALVE
- PROP. GATE VALVE
- PROP. BLOW OFF VALVE
- EX. POWER POLE
- EX. TELEPHONE
- EX. TELEPHONE PEDESTAL
- EX. LIGHT POLE
- BENCHMARK
- PROP. TELEPHONE LINE
- PROP. GAS LINE
- PROP. SANITARY SEWER LINE
- PROP. STORM SEWER LINE
- PROP. CONTOURS
- EXIST. 2' CONTOURS
- EXIST. 10' CONTOURS
- PROP. SPOT ELEVATION
- SILT FENCE
- PROP. TREELINE
- RMA RESOURCE MANAGEMENT AREA BOUNDARY
- RPA RESOURCE PROTECTION AREA BOUNDARY
- EXIST. OVERHEAD POWER
- EXIST. WATER LINE
- EXIST. OVERHEAD CABLE
- EXIST. CENTERLINE OF ROAD
- EXIST. STORM SEWER
- EXIST. SANITARY SEWER
- PROP. UNDERGROUND ELEC. LINE
- PROP. UNDERGROUND ELEC. SERVICE
- PROP. WATERLINE
- PROP. AUDIO CABLE
- EXIST. TREELINE
- EXIST. EDGE OF PAVEMENT

GENERAL NOTES:

1. The minimum required density for compacted fill shall be as shown on the plans. It is the contractor's responsibility to verify compacted fill prior to construction.
2. It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
3. The contractor shall be responsible for obtaining all necessary permits before beginning construction.
4. All construction will be in accordance with City of Roanoke, VDOT, and VA ESCH standards and specifications.
5. Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
6. Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
7. Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
8. Distances and radii referred to are to the edge of pavement, unless otherwise noted.
9. Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
10. A field review shall be made by the City of Roanoke during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the City.
11. The contractor or developer is required to notify the City of Roanoke Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:
 - A. Installation of approved erosion control devices
 - B. Clearing and grubbing
 - C. Subgrade excavation
 - N/A D. Installing storm sewers or culverts
 - E. Placing gravel base
 - F. Placing any roadway surface
 - G. Installing water lines
 - H. Installing sanitary sewer lines
12. A pre-construction conference should be scheduled with the City of Roanoke, to be held at least 48 hrs prior to any construction.
13. Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
14. An approved set of plans and all permits must be available at the construction site.
15. Field construction shall honor proposed drainage divides as shown on plans.
16. All unsuitable material shall be removed from the construction limits of the paved area before placing embankment.
17. Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
18. It is the contractor's responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
19. The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
20. Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
21. Field corrections shall be approved by the City of Roanoke prior to such construction.
22. 100 year floodway and floodplain information shall be shown where applicable.
23. Grade stakes shall be set for all retaining wall construction.
24. All new utilities shall be installed underground per the City of Roanoke requirements.

DEVELOPMENT PLAN APPROVED
 Agent, Planning Commission: [Signature]
 Development Engineer: [Signature]
 Zoning Administrator: [Signature]



**Comprehensive Site Plan For
 Lewis S. & Susan M. Pauley
 Lot 5A, Block 10, Hyde Park
 Tax Map No. 2212814
 City of Roanoke, VA**

REVISIONS:
 CITY OF ROANOKE REVIEW COMMENTS
 CITY OF ROANOKE REVIEW COMMENTS
 CITY OF ROANOKE REVIEW COMMENTS

DESIGNED BY: SLR
 DRAWN BY: SLR
 CHECKED BY: PUB
 SCALE: As Shown
 DATE: June 14, 2006

SHEET TITLE:

Cover Sheet

C01
 01 OF 07
 PROJECT NUMBER:
 06-0108-01

LOCAL APPROVALS:

AGENT - CITY OF ROANOKE PLANNING COMMISSION DATE: _____ CITY OF ROANOKE PLANNING BUILDING AND DEVELOPMENT

CITY ENGINEER - CITY OF ROANOKE, VIRGINIA DATE: _____

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 AUG 25 2006