

## LEGAL DESCRIPTION OF TRACT 1D1-2 (2.408 AC.)

BEGINNING AT CORNER #1, AN EXISTING REBAR IRON PIN, BEING THE WESTERLY CORNER OF TRACT 1D1-1 (P.B. 18, PAGE 97), PROPERTY OF LIBERTY PROPERTY DEVELOPMENT CORP., SAID POINT ALSO LOCATED ON THE NORTHERLY RIGHT-OF-WAY OF SOUTH CONCOURSE DRIVE (VIRGINIA ROUTE #5066);

THENCE LEAVING TRACT 1D1-1 AND WITH SOUTH CONCOURSE DRIVE WITH A CURVE TO THE LEFT, WHICH SAID CURVE IS DEFINE BY A DELTA ANGLE OF 12° 13' 10", A RADIUS OF 1457.40 FEET, AN ARC OF 310.82 FEET, A CHORD OF 310.23 FEET AND BEARING N 45° 12' 21" W TO CORNER #2, AN EXISTING P.K. NAIL, SAID POINT BEING ON THE EASTERLY PROPERTY LINE OF TRACT 3E-1A (P.B. 19, PAGE 40), PROPERTY OF OPTICAL CABLE CORP.;

THENCE LEAVING SOUTH CONCOURSE DRIVE AND WITH TRACT 3E-1A FOR THE FOLLOWING 4 COURSES, N 36° 44' 57" E 244.94 FEET TO CORNER #3, AN EXISTING REBAR IRON PIN;

THENCE S 53° 15' 03" E 25.00 FEET TO CORNER #4, AN EXISTING REBAR IRON PIN;

THENCE N 36° 44' 57" E 59.90 FEET TO CORNER #5, AN EXISTING REBAR IRON PIN;

THENCE S 53° 15' 03" E LEAVING TRACT 3E-1A, AT 57.38 FEET AND WITH TRACTS 1C AND 1B (P.B. 11, PAGE 184 & P.B. 11, PAGE 46), IN ALL 317.17 FEET TO CORNER #6, AN EXISTING REBAR IRON PIN, SAID POINT LOCATED ON THE SOUTHERLY PROPERTY LINE OF TRACT 1B, PROPERTY OF LIBERTY PROPERTY LIMITED PARTNERSHIP, ALSO BEING THE NORTHERLY CORNER OF TRACT 1D2 (P.B. 13, PAGE 153), PROPERTY OF MAGBEAR ASSOCIATES, L.P.;

THENCE CONTINUING WITH THE WESTERLY PROPERTY LINE OF TRACT 1D2, S 36° 44' 57" W, 223.26 FEET TO CORNER #7, AN EXISTING REBAR IRON PIN, SAID POINT BEING THE SOUTHWESTERLY CORNER OF TRACT 1D2 AND ON THE NORTHEASTERLY PROPERTY LINE OF TRACT 1D1-1;

THENCE LEAVING TRACT 1D2 AND WITH TRACT 1D1-1, N 53° 15' 03" W 35.00 FEET TO CORNER #8, AN EXISTING REBAR IRON PIN, SAID POINT BEING THE NORTHERLY CORNER OF TRACT 1D1-1;

THENCE CONTINUING WITH THE TRACT 1D1-1, S 36° 44' 57" W 124.99 FEET TO CORNER #1, THE PLACE OF BEGINNING AND CONTAINING 2.408 ACRES, BEING ALL OF TRACT 1D1-2, AS RECORDED IN PLAT BOOK 18, PAGE 97.

THE FOREGOING LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS SHOWN IN THE VESTING DEED, RECORDED IN DEED BOOK 1495, PAGE 1042 AND IS THE SAME PROPERTY DESCRIBED IN SCHEDULE A OF TITLE COMMITMENT No. 001211 BEARING AN EFFECTIVE DATE OF APRIL 17, 2000 REVISED JUNE 26, 2000 AS PREPARED BY LAWYERS TITLE INSURANCE CORPORATION.

## TRACT 1D1-2 SCHEDULE B-2 ITEMS (PARCEL 2)

- 4: THE PROPERTY SHOWN HEREON IS SUBJECT TO THE DECLARATION OF RESTRICTIVE COVENANTS DATED FEB.28, 1989 RECORDED IN DEED BOOK 1301 PAGE 1170; FIRST AMENDMENT RECORDED IN DEED BOOK 1323, PAGE 1593; SECOND AMENDMENT RECORDED IN DEED BOOK 1403, PAGE 465; AND THIRD AMENDMENT RECORDED IN DEED BOOK 1521, PAGE 986.
- 9: ACCESS AND PARKING EASEMENT AGREEMENT TO MAGBEAR ASSOCIATES FROM LINGERFELT DEVELOPMENT CORP DATED NOV. 26, 1991, RECORDED IN DEED BOOK 1354, PAGE 651, SHOWN HEREON.
- 10(a): 15' P.U.E. ALONG THE SOUTHWESTERLY PROPERTY LINE, (P.B. 18, PG. 97), SHOWN HEREON.
- 10(b): DRAINAGE EASEMENT OF VARIOUS WIDTH ALONG A PORTION OF THE SOUTHWESTERLY PROPERTY LINE (P.B. 12, Pg. 33), SHOWN HEREON.
- 10(c): 20' WATER LINE EASEMENT ALONG A PORTION OF THE NORTHWESTERN PROPERTY LINE, ACROSS THE NORTHERN CORNER OF THE PROPERTY, AND ALONG A PORTION OF THE NORTHEASTERN PROPERTY LINE, SHOWN HEREON.
- 10(d): 25' OF A 50' INGRESS AND EGRESS EASEMENT ALONG THE NORTHWESTERN PROPERTY LINE ( RIGHTS OF OTHERS IN AND TO THE USE OF SAID EASEMENT), (P.B. 18, PG. 97) SHOWN HEREON.

ALTA/ACSM LAND TITLE SURVEY  
SHOWING PROPERTY (2.408 Ac.) OF  
**ROANOKE VALLEYPONTE, LLC**  
BEING

TAX PARCEL 37.07-1-14.3  
TRACTS 1D1-2

MAP OF RESUBDIVISION FOR  
LIBERTY PROPERTY DEVELOPMENT CORP.

( P.B. 18, PAGE 97)

SITUATED ALONG

SOUTH CONCOURSE DRIVE

HOLLINS MAGISTERIAL DISTRICT

ROANOKE COUNTY, VIRGINIA

SCALE: 1" = 30' DATE: 2 DECEMBER 1999

REVISED DATE: 27 JUNE 2000

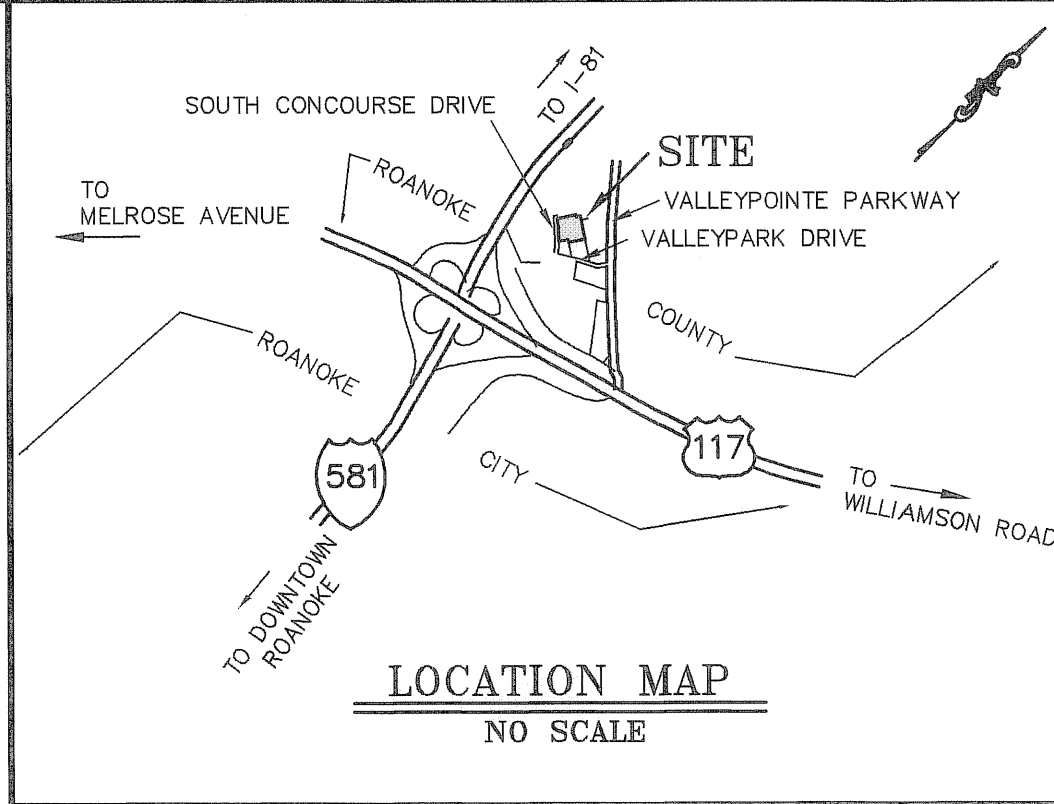
## CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	1457.40'	310.82'	156.00'	310.23'	N 45°12'21" W	12°13'10"

CENTERLINE CHART  
EX. 20' WATERLINE EASEMENT

CORNER	BEARING	DISTANCE
W1-W2	N 38-31-40 E	22.46'
W2-W3	N 20-50-30 W	12.94'
W3-W4	N 36-44-57 E	140.97'
W4-W5	N 71-47-28 E	48.92'
W5-W6	N 84-45-09 E	149.56'
W6-W7	S 53-19-43 E	276.15'
W7-W8	N 85-05-49 E	34.51'

TRUE NORTH

LOCATION MAP  
NO SCALE

## TRACT 1D1-2

## UNIT DENSITY

UNITS OBSERVED ON SITE	MAXIMUM UNITS PERMITTED BY ZONING
NONE	NOT APPLICABLE

## PARKING SPACE TABLE

TYPE OF SPACE	TOTAL EXISTING	REQUIRED BY ZONING
REGULAR	68	68
HANDICAP	3	3
TOTAL	71	71

\* GENERAL OFFICE SPACE 3.5 SPACES / 1000 S.F.

## NOTES:

- ALL ABOVE GROUND STRUCTURES ARE BASED ON ACTUAL FIELD LOCATIONS. ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. 510190 0024 D, BEARING THE DATE OF OCTOBER 15, 1993.
- IRON PINS HAVE BEEN SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
- THIS SURVEY IS BASED ON LAWYERS TITLE INSURANCE CORPORATION COMMITMENT FOR TITLE INSURANCE DATED APRIL 17, 2000 REVISED JUNE 26, 2000, COMMITMENT NO. 001211.
- THE SETBACKS FOR THE SUBJECT PROPERTY ARE BASED ON THE COUNTY OF ROANOKE ZONING REGULATIONS IN EFFECT AS OF THE DATE OF THIS SURVEY.  
ZONING: I-1 WITH CONDITIONS  
FRONT SETBACK: 30 FEET  
SIDE SETBACK: 10 FEET  
REAR SETBACK: 15 FEET  
HEIGHT: 45 FEET
- LEGAL REFERENCE TRACT 1D1-2: DEED FROM LIBERTY PROPERTY DEVELOPMENT CORP., TO LIBERTY PROPERTY LIMITED PARTNERSHIP, A PENNSYLVANIA LIMITED PARTNERSHIP IN ROANOKE COUNTY DEED BOOK 1495, PAGE 1042.
- THERE EXISTS NO PHYSICAL EVIDENCE OF THE PROPERTY LINES SHOWN HEREON OTHER THAN CORNERS DENOTED HEREON.
- THERE ARE 68 MARKED REGULAR PARKING SPACES, 3 MARKED HANDICAPPED PARKING SPACES.
- SOUTH CONCOURSE DRIVE (50' R/W) IS A DEDICATED ROAD AND IS PUBLICLY MAINTAINED.
- THE MAXIMUM POSITIONAL TOLERANCE OF ALL PROPERTY CORNERS IS 0.08 FEET.

## SURVEYORS CERTIFICATE

TIMOTHY HOELZLE, A REGISTERED LAND SURVEYOR, LICENSE No. 1754, IN AND FOR THE STATE OF VIRGINIA, AND LEGALLY DOING BUSINESS IN ROANOKE COUNTY, DOES HEREBY CERTIFY TO ARCHON FINANCIAL, L.P., ITS SUCCESSORS AND ASSIGNS, ROANOKE VALLEYPONTE, LLC, (TRACT 1D1-2), AND LAWYERS' TITLE INSURANCE CORPORATION THAT:

THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE (i) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 1992 (AS MODIFIED); AND (ii) IN ACCORDANCE WITH THE "ARCHON FINANCIAL, L.P. STANDARD SURVEY REQUIREMENTS DATED SEPTEMBER 7, 1999," AND INCLUDES ALL ITEMS FROM THE SPECIAL ARCHON REQUIREMENTS SPECIFICALLY DEFINED THEREIN, AND (iii) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN URBAN SURVEY.

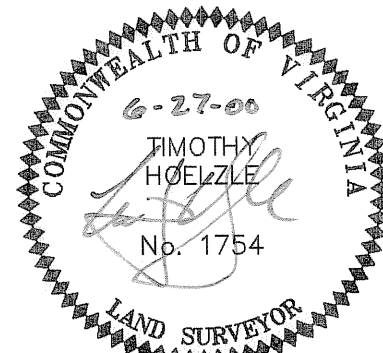
THE PARTIES LISTED IN THE FIRST PARAGRAPH OF THIS CERTIFICATE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.

THE UNDERSIGNED HAS RECEIVED AND EXAMINED A COPY OF LAWYERS TITLE INSURANCE CORPORATION TITLE COMPANY'S COMMITMENT No. 001211 AND THE LOCATION OF ANY MATTERS SHOWN THEREON TO EXTENT IT CAN BE LOCATED, AS SHOWN ON THIS SURVEY WITH APPROPRIATE RECORDING REFERENCE.

*Timothy Hoelzle*  
(NAME)

*June 27, 2000*  
(DATE)

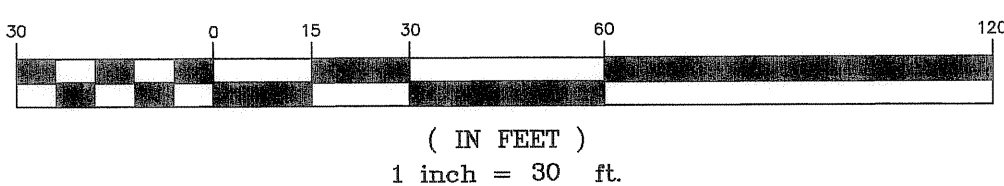
REGISTRATION NO. 1754  
WITHIN THE STATE OF VIRGINIA  
DATE OF SURVEY 12/2/99  
DATE OF LAST REVISION 6/27/00



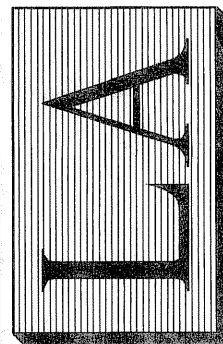
## LEGEND

R/W	- RIGHT-OF-WAY
EX.	- EXISTING
D.B.	- DEED BOOK
P.G.	- PAGE
P.B.	- PLAT BOOK
S.S.E.	- SANITARY SEWER EASEMENT
W.L.E.	- WATERLINE EASEMENT
P.U.E.	- PUBLIC UTILITY EASEMENT
D.E.	- DRAINAGE EASEMENT
LP	- LIGHT POLE
RCP	- REINFORCED CONC. PIPE
SS	- SAN. SEWER LINE
SD	- STORM DRAIN LINE
W	- WATER LINE
CB	- CATCH BASIN
SSC/O	- SAN. SEWER CLEAN OUT
UE	- UNDERGROUND ELECTRIC
UG	- UNDERGROUND GAS LINE
UT	- UNDERGROUND TELEPHONE
SMH	- STORM DRAIN MANHOLE
SMH	- SAN. SEWER MANHOLE
WMH	- WATER MANHOLE
WV	- WATER VALVE
WM	- WATER METER
EMH	- ELECTRIC MANHOLE
XX	- FIRE HYDRANT

## GRAPHIC SCALE



LUMSDEN ASSOCIATES, P.C.  
ENGINEERS-SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA



JUNE 27, 2000

00-163

00163-D-1-2-ALDWG

DATE:

COMMISSION NO.:

CADD FILE:

SHEET 1 OF 1