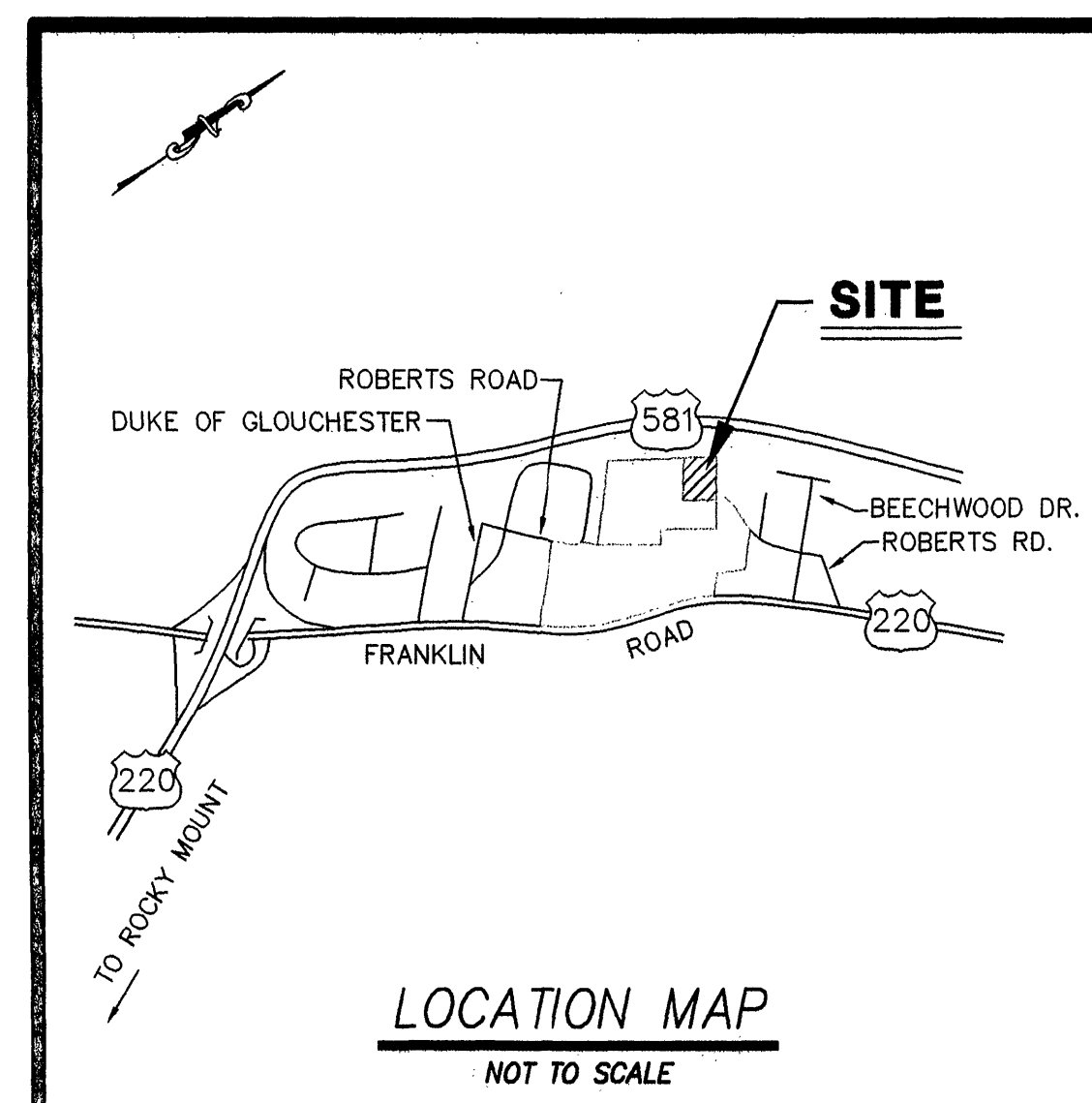


DEVELOPMENT PLAN FOR SECTION No. 5 "THE COACH HOMES OF SOUTHWOOD"

SITUATED IN
THE CITY OF ROANOKE, VIRGINIA
DATE: April 22, 2005
PREPARED FOR
BOONE HOMES, INC.



NOTICE: All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

- City Inspections:** To ensure the coordination of timely and proper inspections, a preconstruction conference shall be initiated by the contractor with the Development Inspector. Call 540-853-1227 to arrange a conference at least three (3) days prior to anticipated construction.
- Right-of-Way Excavation Permit:** Prior to the commencement of any digging, alteration, or construction within the public right-of-way (streets, alleys, public easements) a street opening permit shall be applied for and obtained by the contractor from the City of Roanoke.
- Land Disturbance Permit:** An approved erosion and sediment control plan for borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.
- Plans and Permits:** A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.
- Location of Utilities:** The contractor shall verify the location of all existing utilities prior to the commencement of any construction.
- Construction Entrance:** The contractor shall install an adequate construction entrance for all construction-related egress from the site. Size and composition of construction entrance shall be as shown on the plans.
- Streets to Remain Clean:** It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.
- Barricades/Ditches:** The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.
- Sewer and Pavement Replacement:** Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.
- Approved Plans/Construction Changes:** Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variations in construction being made.
- Final Acceptance/City:** The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a final correct set of as-built plans prior to final acceptance by the City.

I AM CERTIFIED BY THE STATE OF VIRGINIA AS A "RESPONSIBLE LAND DISTURBER". I SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION AND SEDIMENT CONTROL PLAN AS SHOWN.

SIGNATURE: _____
PRINTED NAME: _____
CERTIFICATE No.: _____
EXPIRATION DATE: _____
TELEPHONE No.: _____
ADDRESS: _____

"As-Built"

- Water and sewer "As-Built" information taken from plans furnished by J. P. Turner and Sons, Inc., contractor.
- "As-Built" dimensions are shown in brackets.

PROFFERED CONDITIONS

AS DEFINED IN ROANOKE CITY ORDINANCE NO. 34406-080299 ADOPTED AUGUST 2, 1999, AND ORDINANCE NO. 32777-121895 ADOPTED DECEMBER 18, 1995:

- THE PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE SITE PLAN ENTITLED "DEVELOPMENT CONCEPT FOR SECTION NO. 3, SOUTHWOOD, PREPARED FOR BOONE, BOONE AND LOEB, INC." PREPARED BY LUMSDEN ASSOCIATES, DATED AUGUST 31, 2000, SUBJECT TO ANY CHANGES REQUIRED BY THE CITY DURING SITE PLAN REVIEW.
- NO PARALLEL ON-STREET PARKING WILL BE PERMITTED ON STREETS LESS THAN 30 FEET IN WIDTH SERVING RESIDENTIAL UNITS.
- THAT PORTION OF THE 23.571-ACRE PARCEL REPRESENTED BY THE AREA OUTSIDE THE LOTS, STREET AND RIGHTS OF WAY, AS SHOWN ON THE ABOVE REFERENCED PLAN, SHALL BE RETAINED AS OPEN SPACE.
- THE RESIDENCES CONSTRUCTED ON THE PROPERTY SHALL NOT EXCEED 1-1/2 STORIES, BUT IN NO CASE BE HIGHER THAN 31 FEET FROM TOP OF THE FLOOR OF THE FIRST FLOOR. EXPOSED BASEMENT AND SUB-FOOTINGS WOULD NOT BE INCLUDED IN THE 31 FOOT HEIGHT LIMITATION.
- THE GRADING OF THE PROPERTY SHALL SUBSTANTIALLY CONFORM WITH THE APPROXIMATE LIMITS SHOWN ON THE GRADING PLAN ENTITLED "PROPOSED GRADING PLAN FOR SECTION NO. 3, SOUTHWOOD," PREPARED BY LUMSDEN ASSOCIATES, P.C. UNDER DATE OF OCTOBER 13, 2000.
- LANDSCAPING SHALL BE IN ACCORDANCE WITH THE PLAN SUBMITTED AS EXHIBIT 4 AND SHALL INCLUDE STREET TREES, EVERGREEN TREES AND HEDGES. IN ADDITION, ANY EXISTING TREE COVER ON THE PERMANENT OPEN SPACE WHICH IS DISTURBED DURING DEVELOPMENT OF THE PROPERTY SHALL BE REPLANTED WITH ONE-HALF WHITE PINES AND ONE-HALF DECIDUOUS TREES WHICH, AT THE TIME OF PLANTING, SHALL BE A MINIMUM OF THREE TO FOUR FEET IN HEIGHT AND PLANTED ON A MAXIMUM OF 30-FOOT ON CENTER. REPLANTED MATERIAL SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ON-SITE SIGNAGE WILL BE LIMITED TO IDENTIFICATION SIGNAGE AT THE MAIN ENTRANCE AND IDENTIFICATION AND DIRECTIONAL SIGNAGE WITHIN THE DEVELOPMENT.
- THE EXTERIOR OF THE RESIDENCES SHALL BE PREDOMINANTLY BRICK ON ALL FACADES.
- DRIVEWAYS SHALL BE BLACKTOPPED.
- SIDEWALKS SHALL BE INSTALLED AS SHOWN ON EXHIBIT 4.
- A HOMEOWNER'S ASSOCIATION SHALL BE ESTABLISHED TO MAINTAIN THE EXTERIOR OF CONSTRUCTED RESIDENCES AND THE GROUNDS. DOCUMENTATION OF THE ESTABLISHMENT OF THE ASSOCIATION SHALL BE PROVIDED TO THE CITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

--INDEX OF DRAWINGS--

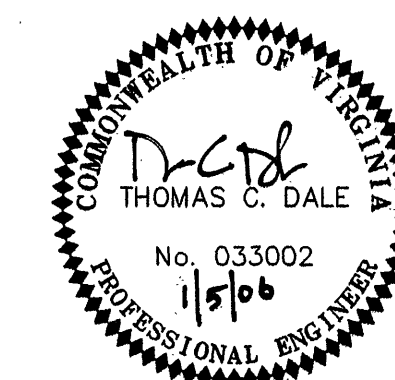
SHEET No.	DESCRIPTION
1.	LUMSDEN ASSOCIATES COVER SHEET
2.	RECORD PLAT
3.	NOTES & DETAILS
4.	WATER AND SEWER DETAILS
5.	DIMENSIONAL LAYOUT
6.	GRADING PLAN
7.	ROAD, SANITARY SEWER & WATER LINE PROFILES
8.	STORM DRAIN PROFILES
9.	RETAINING WALL PROFILE
10.	EROSION AND SEDIMENT CONTROL PLAN
11.	EROSION AND SEDIMENT CONTROL DETAILS



LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM



REVISIONS	
DATE	SHEETS
7/28/05	REVISED GRADING
1/5/06	5,6,8
3/13/06	"AS-BUILT"
COMMISSION NO:	04-282
SHEET	1 OF 11