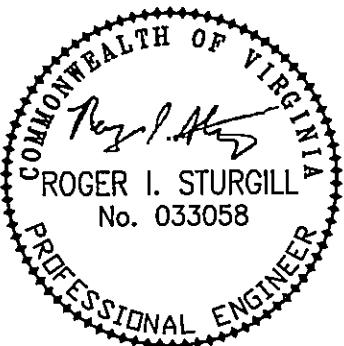




BALZER
AND ASSOCIATES, INC.
BY NED

REFLECTING TOMORROW
www.balzer.cc
PLANNERS • ARCHITECTS
ENGINEERS • SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 540/772-9580
FAX: 540/772-8050

501 Branchway Road
Richmond, Virginia 23236
Phone: 804/784-3271
FAX: 804/784-3235

880 Technology Park Drive
Glen Allen, Virginia 23059
Phone: 804/693-0182
FAX: 804/693-0133

448 Peppers Ferry Road, NW
Christiansburg, Virginia 24073
Phone: 540/881-4280
FAX: 540/881-4281

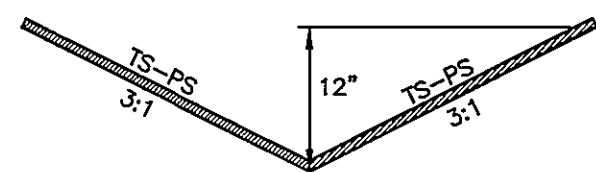
1551 Commerce Road
Suite 401
Verona, Virginia 24482
Phone: 540/248-3220
FAX: 540/248-3221

SPORTSMAN'S WAREHOUSE
GRADING PLAN

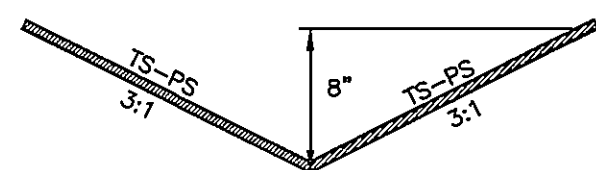
DRAWN BY: SMH
DESIGNED BY: SMH
CHECKED BY: SMH
DATE: 3-22-07
REVISIONS:
4-26-07
5-23-07
5-25-07

SCALE: 1"=30'
SHEET NO.
C-4
JOB NO.
R0700051.00

DITCH SECTIONS:



YARD SWALE "A"
N.T.S.



YARD SWALE "B"
N.T.S.

- REGULAR ASPHALT PAVING
- HEAVY DUTY/PARKING LOT ASPHALT PAVING
- CONCRETE

SPORTSMAN'S
WAREHOUSE
F.F.E. 1083.50

NOTE:
G.C. SHALL COORDINATE ALL BUILDING DIMENSIONS,
CONC. SIDEWALKS, STORM DRAINAGE, SANITARY
SEWER AND WATER CONNECTIONS TO THE
PROPOSED BUILDING AND ARCHITECTURAL PLANS

MIN. 2% SLOPE AWAY
FROM THE BUILDING

10" HDPE ROOF
LEADER REFER TO
ARCH. DWGS FOR
CONNECTION

6" PVC STUB FOR
CONNECTION TO TRENCH DRAIN
(SEE ARCH. PLANS)

6" PVC STUB FOR
CONNECTION TO TRENCH DRAIN
(SEE ARCH. PLANS)

H.C. PARKING AREA
SHALL BE A MAX
OF 2%

H.C. RAMP
1:12 MAX

GRAPHIC SCALE

