

BOUNDARY: SECTION No. 2 - EDGEHILL ESTATES

LINE	BEARING	DISTANCE	NORTH	SOUTH	EAST	WEST
1-2	N26°-54'W	77.22	68.86			34.94
2-3	S60°-48'W	40.45		19.73		35.31
3-4	S55°-53'W	41.14		230.78		340.65
4-5	S75°-41'W	128.27		31.72		124.28
5-6	S48°-54'W	70.71		46.48		53.28
6-7	S68°-54'W	165.60		59.62		154.49
7-8	S1°-25'W	232.68		232.61		5.75
8-9	S12°-36'E	267.60		261.16	58.37	
9-10	N79°-56'E	814.44	142.35		801.91	
10-11	N23°-32'W	364.40	334.09			145.50
11-12	N55°-53'E	273.78	153.53		226.66	
12-13	S70°-48'E	61.28		20.15	57.87	
13-14	N30°-12'E	146.37	126.50		73.63	
14-15	N44°-48'W	241.54	171.39			170.20
15-16	S41°-07'W	107.00		80.61		70.36
16-17	S66°-38'W	84.64		33.57		77.70
17-1	N16°-48'W	20.69	19.80			5.98
TOTALS		3,508.13	1,016.54	1,016.43	1,218.44	1,218.44

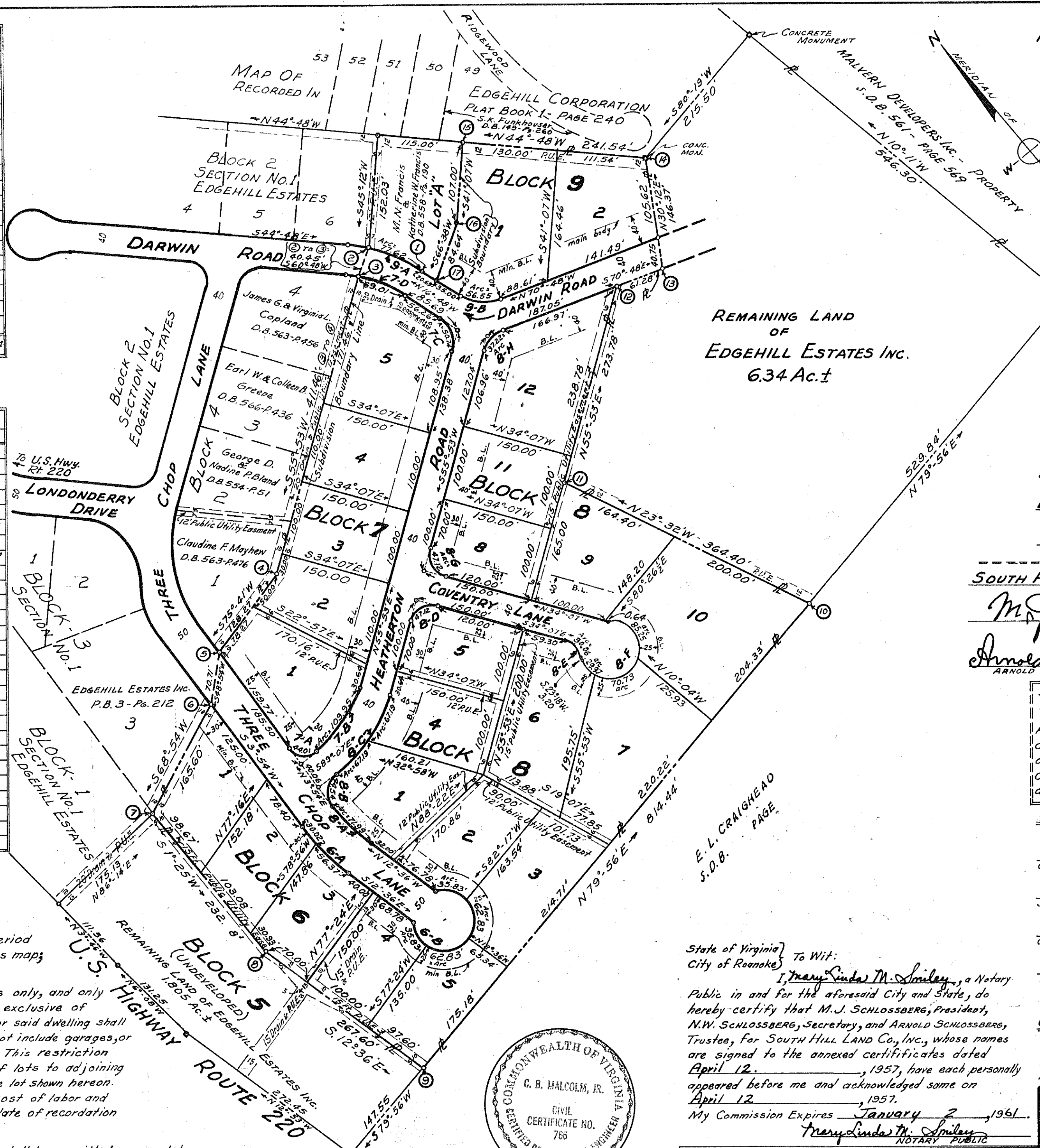
The boundary contains 12.48 acres, more or less.

CURVE DATA										CHORD	
CURVE	LOT	BLK	ANGLE	TANGENT	RADIUS	ARC	BEARING	DISTANCE			
6-A	2	6	16°-30'	43.50	300.00	86.39	N 4°-21'W	86.09			
6-A	2	6	5°-44'	15.02	300.00	30.02	N 1°-02'E	30.00			
6-A	3	6	10°-46'	28.27	300.00	56.37	N 7°-13'W	56.29			
6-B	4	6	282°-38'	40.00	197.32	35.83	N13°-03'E	34.64			
6-B	4	6	51°-19'	19.21	40.00	62.83	N57°-36'W	56.57			
6-B	5	6	90°-00'	40.00	40.00	35.83	S38°-15'E	34.64			
6-B	2	8	51°-19'	19.21	40.00	62.83	S32°-24'W	56.57			
6-B	3	8	90°-00'	40.00	40.00	44.01	S42°-36'E	39.33			
7-A	1	7	93°-01'	28.58	27.11	109.85	N73°-23'E	108.25			
7-B	1	7	35°-00'	56.75	180.00	50.74	N19°-32'E	47.41			
7-C	5	7	72°-41'	29.43	40.00	69.01	N27°-47'W	68.59			
7-D	5	7	21°-58'	34.93	180.00	71.99	N47°-23'E	40.39			
8-A	1	8	16°-30'	36.25	250.00	27.83	N73°-23'E	132.31			
8-B	1	8	86°-59'	27.83	29.34	67.19	N82°-08'E	66.93			
8-C	1	8	35°-00'	69.36	220.00	67.19	N64°-38'E	66.93			
8-C	1	8	17°-30'	33.86	220.00	47.12	S79°-07'E	42.43			
8-D	5	8	90°-00'	30.00	30.00	18.57	S1°-50'W	29.28			
8-E	6	8	57°-25'	16.43	30.00	70.73	S70°-17'E	61.87			
8-F	6	8	266°-22'	15.73	40	85.25	N2°-00'W	70.01			
8-F	7	8	101°-19'	48.80	40	47.12	N10°-53'E	42.43			
8-F	10	8	122°-07'	72.34	40	37.22	N82°-32'E	35.89			
8-G	8	8	90°-00'	30.00	30.00	77.62	S26°-54'E	77.22			
8-H	12	8	53°-19'	20.08	40.00	56.53	S43°-48'E	54.48			
9-A	1	9	20°-13'	39.22	220.00						
9-B	1	9	54°-00'	30.57	60.00						

RESERVATIONS & RESTRICTIONS

The following Reservations and Restrictions are made Covenants running with the title of the lots shown hereon in Blocks 6, 7, 8, and 9, of Section No. 2, EDGEHILL ESTATES for a period of twenty-five (25) years from the date of recordation of this map. These covenants shall not apply to Lot "A" as shown hereon.

- The lots shown hereon shall be used for residential purposes only, and only one dwelling house, which shall cost not less than \$17,500.00, exclusive of outbuildings, architectural fees, landscaping, grading, and driveways, or said dwelling shall have a minimum of 1,600 square feet of living space, which shall not include garages, or other outbuildings, porches or breezeways shall be erected on any lot. This restriction shall not be construed to prevent owners from selling portions of lots to adjoining owners, but is intended to prevent more than one dwelling on any one lot shown hereon. If the cost factor is used, said costs shall be calculated upon the cost of labor and material only at prices current in Roanoke City and County at the date of recordation of this map.
- No temporary living quarters such as tents, shacks, trailers, shall be permitted on any lot.
- No horses, cattle, hogs, or fowl shall be kept on any lot, nor shall anything be suffered or done on any lot which shall be a nuisance to persons residing in the vicinity.
- No dwelling shall be located nearer to the front or side street line than the building set-back line (B.L.) as shown hereon; excepting porches, stoops or portions of dwelling not enclosed.
- The lots are subject to public utility easements and drainage easements as shown hereon, as P.U.E.



KNOW ALL MEN BY THESE PRESENTS:

That EDGEHILL ESTATES INC. is the fee simple owner and proprietor of the land hereon shown to be subdivided, known as SECTION NO. 2, EDGEHILL ESTATES, bounded as shown hereon in detail by outside corners 1 to 17 inclusive, subject only to the lien of a certain deed of trust dated March 16, 1956, from EDGEHILL ESTATES INC. to ARNOLD SCHLOSSBERG, trustee, of record in the Clerk's Office of the Circuit Court for the County of Roanoke in Deed Book 549, Page 343, securing SOUTH HILL LAND CO., INC. the payment of a certain debt.

The undersigned Owner, Trustee, and Beneficiary, as aforesaid, certify that the said subdivision as appears on this plat is with the consent and in accordance with the desire of the undersigned parties.

The said owner, with the consent of the of the undersigned trustee and beneficiary, hereby dedicates to and vests in the County of Roanoke, wherein said land lies, such portions of the premises, platted as are on this plat set apart for streets, alleys, easements, or other public use in accordance with the provisions of the Subdivision Ordinance of the County of Roanoke, as amended, and the Virginia Land Subdivision Act.

In TESTIMONY WHEREOF, Witness the following signatures and seals this 12 day of April, 1957.

EDGEHILL ESTATES INC.

E.R. Woolridge PRESIDENT Attest: John C. Haislip SECRETARY

SOUTH HILL LAND CO. INC.

M.J. Schlossberg PRESIDENT Attest: Arnold Schlossberg SECRETARY

Arnold Schlossberg ARNOLD SCHLOSSBERG, TRUSTEE

State of Virginia } To Wit:
City of Roanoke } I, Mary Linda M. Smiley, a Notary Public in and for the aforesaid City and State, do hereby certify that E.R. Woolridge, Pres., and John C. Haislip, Sect., of EDGEHILL ESTATES INC., whose names are signed to the above Certificates have each personally appeared before me and acknowledged the same on April 12, 1957.

APPROVED: M.E. Cunniff Chairman of Board of Supervisors of Roanoke County, Virginia Date 4-25-56
Paul B. Matthews Secretary of Roanoke County Planning Commission Date 4-25-56
H. Clatus Broyles City Engineer of Roanoke, Virginia Date 5-29-57
J.R. Hildebrand Agent for Roanoke City Planning Commission Date May 29, 1957

CAPTION LEGAL REFERENCE:

See Deed Book 549 - Page 337 for conveyance to EDGEHILL ESTATES INC. by SOUTH HILL LAND CO., INC. by Deed dated March 16, 1956 and recorded March 30, 1956

MAP OF SECTION NO. 2

EDGEHILL ESTATES

PROPERTY OF
EDGEHILL ESTATES, INCORPORATED
E.R. WOOLRIDGE, Pres. & JOHN C. HAISLIP, Sect.
ROANOKE COUNTY, VIRGINIA.
By: C.B. Malcolm & Son
To: State Court Engrs.

DATE: April 11, 1957 SCALE: 1" = 100 Ft.

State of Virginia } To Wit:
City of Roanoke } I, Mary Linda M. Smiley, a Notary Public in and for the aforesaid City and State, do hereby certify that M.J. Schlossberg, President, N.W. Schlossberg, Secretary, and ARNOLD SCHLOSSBERG, Trustee, for SOUTH HILL LAND CO., INC., whose names are signed to the annexed certificates dated April 12, 1957, have each personally appeared before me and acknowledged same on April 12, 1957.
My Commission Expires January 2, 1961.
Mary Linda M. Smiley NOTARY PUBLIC

In the Clerk's Office of the Circuit Court for the County of Roanoke, Virginia this map with the certificates of dedication and acknowledgement thereto annexed is admitted to record this 31 day of April, 1957, at 11:00 o'clock A.M.

TESTE: Roy K. Brown (Clerk) By: U.C. Logan (Deputy Clerk)

April 12, 1957
I, HEREBY CERTIFY THAT THIS PLAT OF SURVEY IS CORRECT.
C.B. Malcolm & Son
A STATE CERTIFIED ENGINEER

