

COMPREHENSIVE DEVELOPMENT PLAN

FOR

Steak 'n Shake



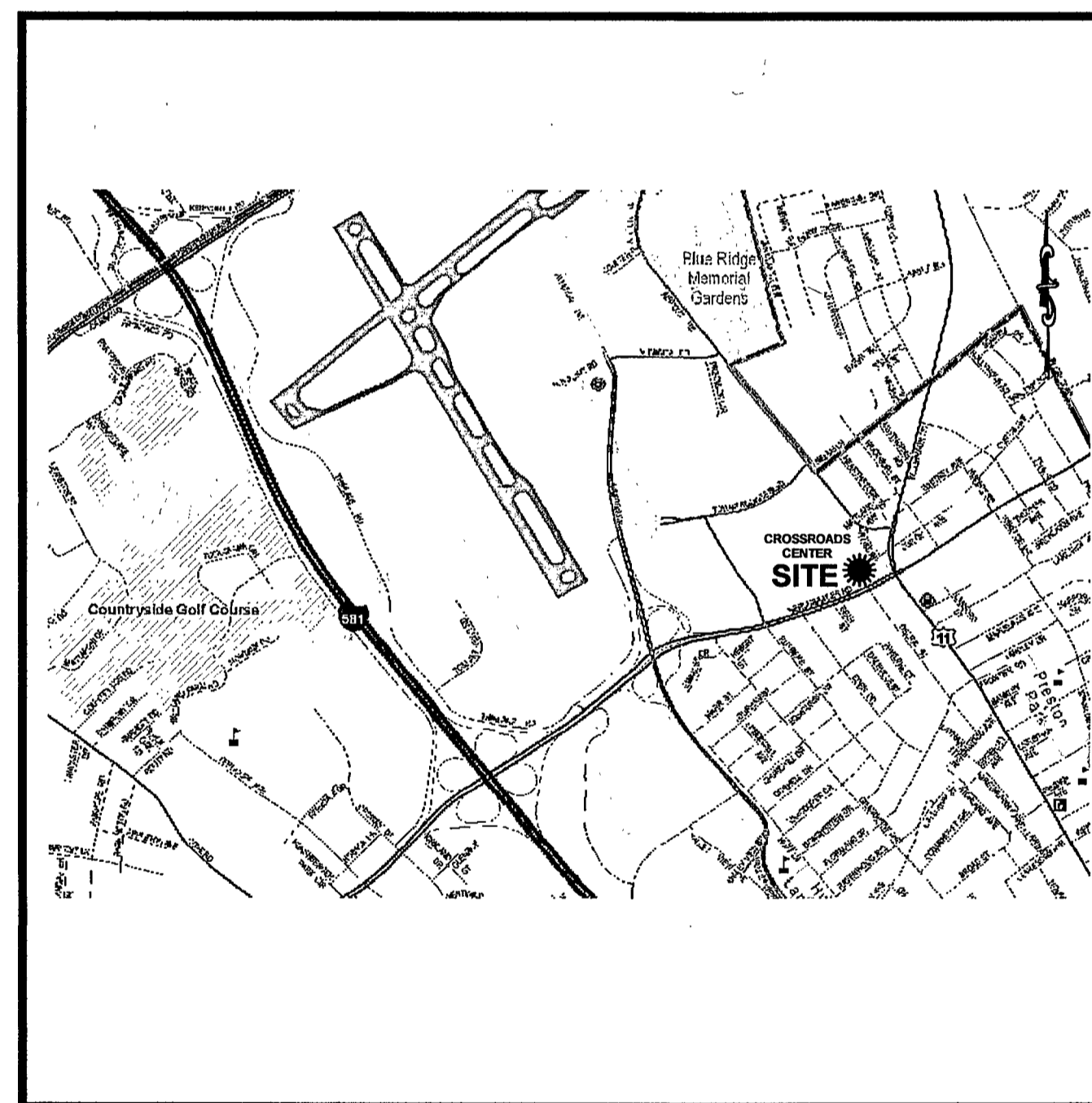
CROSSROADS CENTER

1309 HERSHBERGER ROAD

ROANOKE, VIRGINIA

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VICINITY MAP
NO SCALE

SITE INFORMATION

Site Area: 1.231 acres (53,616 sf)
 Disturbed Area: 1.2 acres
 Tax Map #: 6660122
 See Instrument #060002641 for Title Reference
 See Map Book 1, Pages 2886 through 2889 for Plat Reference
 (Parcel 3, Subdivision Plat for Crossroads Center, LLC)
 See Instrument #060001605, #060008720, #070012162 for Declaration of Ingress & Egress Easements & Restrictive Covenants
 Zoning: CLS (Commercial-Large Site District)
 Adjacent Zoning: CLS (Commercial-Large Site District)
 Present Land Use: Commercial - Vacant
 Proposed Use: Restaurant
 Adjacent Land Use: Commercial, Parking Lot
 Setbacks: 25' Front
 25' Side
 25' Rear
 F.E.M.A. Flood Zone: X (F.E.M.A. Map 51161C0154G, dated 9/28/2007)
 Gross Building Floor Area: 3,810 sf
 (3,436 sf building + 374 sf attached freezer)
 Building Height: 24'-0", One story
 Type of Construction: Class 5B
 Building Code Use Group: A2-Assembly (restaurant)

FAR & ISR CALCULATIONS

Floor Area Ratio (FAR) Calculations:
 Gross Floor Area = 3,810 SF
 Gross Site Area = 53,616 SF
 $FAR = \text{Gross Floor Area} / \text{Gross Site Area}$
 $FAR = 3,810 \text{ SF} / 53,616 \text{ SF} = 0.07$
 Maximum Floor Area Ratio Allowed = 5.0

Existing Impervious Surface Ratio (ISR) Calculation:
 Existing Impervious Area = 51,933 SF
 Gross Site Area = 53,616 SF
 $ISR = \text{Impervious Area} / \text{Gross Site Area}$
 $ISR = 51,933 \text{ SF} / 53,616 \text{ SF} = 96.9\%$

Developed Impervious Surface Ratio (ISR) Calculations:
 Developed Impervious Area = 42,860 SF
 Gross Site Area = 53,616 SF
 $ISR = \text{Impervious Area} / \text{Gross Site Area}$
 $ISR = 42,860 \text{ SF} / 53,616 \text{ SF} = 79.9\%$
 Maximum ISR allowed = 80%

CONTACT INFORMATION:

Site Owner: MPW Group, LLC
 P. O. Box 18
 1237 Southside Drive
 Salem, VA 24153
 Phone: 540-389-8995
 Contact: John Winston

Site Address: Parcel 3 Crossroads Center
 1309 Hershberger Road NW
 Roanoke, VA 24012

Developer (Contract Purchaser): Steaks of Virginia, LLC
 2242 West Great Neck Road
 Suite 201
 Virginia Beach, VA 23451
 Phone: 757-412-0112
 Fax: 757-412-0468
 Contact: Thomas Cook
 E-mail: tcook@burgerbusters.com

Engineer: Ingram-Hagen & Co., PLC
 140 Old Bridgewater Road
 Mt. Crawford, VA 22841
 Phone: 540-828-2778
 Fax: 540-828-2683
 Contact: Ray N. Moyer
 E-mail: rnmoyer@ntelos.net

Architect: FRCH Design Worldwide, Inc.
 311 Elm Street
 Cincinnati, OH 45202
 Phone: 513-241-3000
 Fax: 513-241-5015
 Contact: Robert Rink
 E-mail: rrink@frch.com

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP WORK ORDER.

CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS:

Right-of-Way Excavation Permit - Prior to the commencement of any digging, alteration or construction within the public right-of-way (streets, alleys, public easements), a right-of-way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.

Land Disturbance Permit - An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.

Plans and Permits - A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

Locations of Utilities - The contractor shall verify the location of all existing utilities prior to the commencement of any construction.

Construction Entrance - The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of construction entrance shall be as shown on the plans.

Streets to Remain Clean - It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or type of construction materials or litter at all times.

Barriades/Ditches - The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.

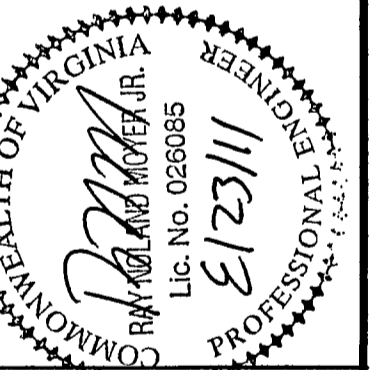
Sewer and Pavement Replacement - Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.

Approved Plans/Construction Changes - Any changes or variations from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.

Final Acceptance/City - The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a field surveyed final correct set of as-built plans of the newly constructed storm drain and/or stormwater management facilities prior to final acceptance and issuance of a certificate of occupancy by the City. As-built plans shall be provided in the State Plane Virginia South Coordinate System, NAD 1983, FIPS 4502 Feet, US Survey Feet, Datum NA 83, in the form of 1 paper copy and 1 digital AUTOCAD file.

Rev. #	Description	Date
1	Revised per City comments dated 7/15/11	8/2/11
2	Revised per City comments dated 8/22/11	8/23/11

INGRAM - HAGEN & CO., P.L.C.
 Surveyors - Engineers - Planners - Foresters
 Telephone (540) 828-2778
 Fax (540) 828-2683
 140 OLD BRIDGEWATER ROAD
 MOUNT CRAWFORD, VIRGINIA 22841



Steak 'n Shake
 Cover Sheet
 Crossroads Center
 1309 Hershberger Road
 City of Roanoke, Virginia

City of Roanoke
 Planning Building and Development
DEVELOPMENT PLAN APPROVED

Agent, Planning Commission: [Signature] Date: 11/19/2012
 Development Engineer: [Signature] Date: 11-19-2012
 Zoning Administrator: [Signature] Date: 11/19/2012

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

Sheet Number:
C1

Contact: Michael Jenkins 704.564.8145
 UTM Tech Water Resources
 T.M. Eagle

HD Supply