GENERAL NOTES

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.

THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF ROANOKE ENGINEERING DIVISION IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- A. INSTALLATION OF APPROVED EROSION CONTROL DEVICES.
- B. CLEARING AND GRUBBING. C. SUBGRADE EXCAVATION.
- D. INSTALLING STORM SEWERS OR CULVERTS
- E. INSTALLING CURB AND GUTTER FORMS.
- F. PLACING CURB AND GUTTER.
- G. PLACING GRAVEL BASE. H. PLACING ANY ROADWAY SURFACE.

MEASURES TO CONTROL EROSION AND SILTATION MUST BE PROVIDED FOR PRIOR TO PLAN APPROVAL. PLAN APPROVAL IN NO WAY RELIEVES THE DEVELOPER OR CONTRACTOR OF THE RESPONSIBILITIES CONTAINED IN EROSION AND SILTATION CONTROL POLICIES.

FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN

ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS OF THE ROADWAY BEFORE PLACING EMBANKMENT.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE. ALL SPRINGS SHALL BE CAPPED AND PIPED TO THE NEAREST STORM SEWER

OR NATURAL WATERCOURSE. THE PIPE SHALL BE MINIMUM OF 6" DIAMETER AND CONFORM TO VDOT STANDARD SB-1.

CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON-SITE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.

THE DEVELOPER AND/OR CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS, ADVISING THEN THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO APPROVED PLANS.

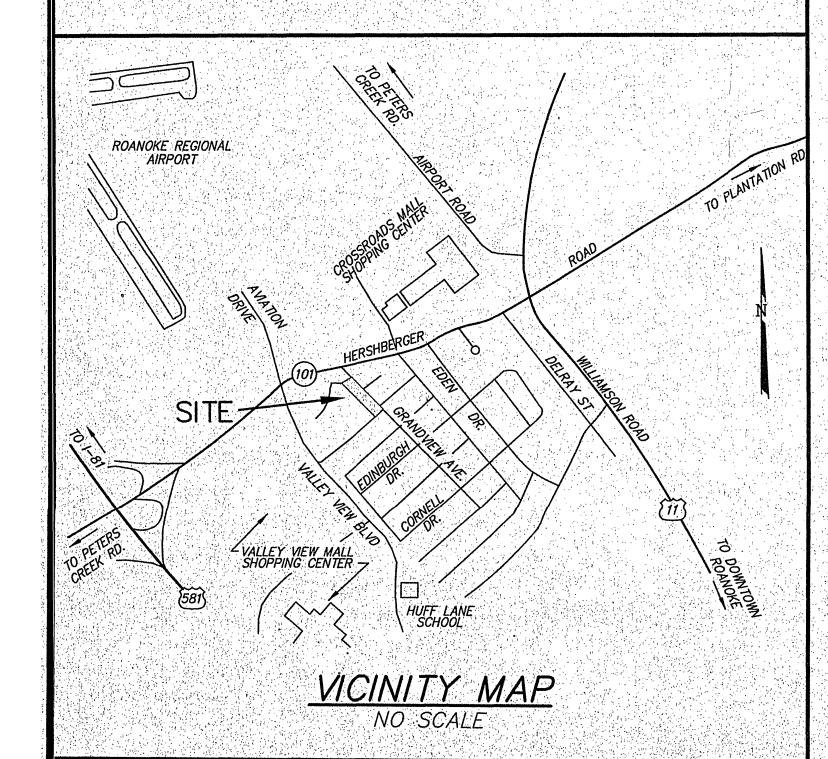
CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO, BUT NOT MORE THAN TEN WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THROUGH MISS UTILITY AT (800) 552-7001.

ALL WORK SHALL BE SUBJECT TO INSPECTION BY CITY OF ROANOKE INSPECTORS. GRADE STAKES SHALL BE SET FOR ALL CURB AND GUTTER, AND STORM SEWER.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD SURVEYS, AS SHOWN BY AVAILABLE RECORDS, AND AS LOCATED BY THE UTILITY LOCATOR SERVICE. CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO CONSTRUCTION

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE, REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON THESE PLANS.

ALL EARTHWORK. PAVING, STORM DRAIN CONSTRUCTION & INSTALLATION, CONCRETE INSTALLATION. PAVING AND RELATED PHYSICAL IMPROVEMENTS SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION.



ENGINEER'S NOTES

CALDWELL WHITE ASSOCIATES ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

CALDWELL WHITE ASSOCIATES DOES NOT GUARANTEE THE COMPLETION OR QUALITY OF PERFORMANCE OF THE CONTRACTS OR THE COMPLETION OR QUALITY OF PERFORMANCE OF CONTRACTS BY SUBCONTRACTORS OR OTHER THIRD PARTIES.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY BY CALDWELL WHITE ASSOCIATES DATED: JUNE 2001

BOUNDARY INFORMATION WAS PROVIDED BY MAP ENTITLED 'PHYSICAL IM-PROVEMENT SURVEY FOR' VFW POST 1264 PREPARED BY BALZER & ASSOCIATES, REVISED DATE: MARCH 21, 2001.

LANDSCAPE NOTES

ALL LANDSCAPE PLANTINGS SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSEY STOCK. LATEST EDITION.

ALL LANDSCAPE PLANTINGS SHALL CONFORM TO STANDARDIZED PLANT NAME AND SHALL BE WELL-FORMED, TRUE TO TYPE AND HAVE WELL-DEVELOPED ROOT SYSTEMS. ALL PLANTINGS SHALL BE SOUND, HEALTHY, AND FREE FROM DEFECTS.

ALL PLANTING SHALL BE DONE DURING THE PROPER SEASON AND NO PLANTING SHALL BE DONE IN FROZEN SOIL OR DURING UNFAVORABLE WEATHER CONDITIONS.

ALL TREES ARE TO BE LOCATED WITH RESPECT TO EXISTING OR PROPOSED UTILITIES. MULCH ALL PLANTINGS WITH A MINIMUM OF THREE INCHES OF SHREDDED OR CHIPPED

ADJUSTMENTS MAY BE NECESSARY DUE TO PLANT AVAILABILITY.

DUE TO ON-SITE CONDITIONS, IN-FIELD ADJUSTMENTS MAY BE NECESSARY.

ALL PLANTING OF TREES, SHRUBS, ETC. SHALL BE DONE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE SPECIFICATIONS, SECTION 605.

REZONING PROFFERS

THE SUBJECT PROPERTY WAS REZONED BY ORDINANCE No. 32701-102395 TO C-1 WITH CONDITIONS, GENERAL OFFICE DISTRICT, SUBJECT TO CERTAIN PROFFERED CONDITIONS. LISTED BELOW ARE THE PROFFERED CONDITIONS.

* THAT THE SUBJECT PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CON-FORMITY WITH THE SITE PLAN PREPARED BY JAMES K. CLEM, DATED DECEMBER SHALL PROVIDE A 5'FOOT WIDE, CONCRETE SIDEWALK AND A 2-FOOT WIDE PLANTING/UTILITY STRIP IMMEDIATELY ADJACENT TO GRANDVIEW AVENUE. THE LENGTH OF THE SIDEWALK SHALL BE CONSTRUCTED BY THE PETITIONERS TO APPLICABLE CITY STANDARDS AND DEDICATED TO THE CITY FOR PUBLIC USE. IN ADDITION TO MEETING THE CITY'S REQUIREMENTS FOR LANDSCAPING AND BUFFERING ON THE PROPERTY, THE LANDSCAPE TREES SHOWN ON THE ATTACH-ED SITE PLAN SHALL BE INDIGENOUS, DECIDOUS SPECIES THAT ARE A MINIMUM OF 3-INCHES IN CALIPER SIZE AT THE TIME OF PLANTING.

* THE PETITIONER AGREES THAT ALL UTILITIES ON SITE SHALL BE LOCATED

THE PETITIONER AGREES THAT THE EXTERIOR MATERIALS OF THE PRINCIPAL, BUILDING SHALL CONSIST OF BRICK OR A FINISHED WOOD SIDING WITH A BRICK MASONRY FOUNDATION. ROOF PITCH SHALL BE A MINIMUM RATIO OF FOUR!

APPROVED: AGENT - CITY OF ROANOKE PLANNING COMMISSION CITY ENGINEER - CITY OF DATE ROANOKE. VIRGINIA

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

CITY INSPECTIONS: TO ENSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRECONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY OF ROANOKE DEPARTMENT OF ZONING AND DEVELOPMENT (540) 853-2344 OR 853-1446 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION.

STREET OPENING PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT—OF—WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A STREET OPENING PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

PLANS AND PERMITS: A COPY OF THE PLANS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION—RELATED EGRESS FROM THE SITE. THE SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE DETERMINED BY THE CITY OF ROANOKE SITE PLAN INSPECTOR.

STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD. DIRT. DUST, AND/OR ANY

BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.

CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID CHANGES OR VARIATIONS ON CONSTRUCTION BEING MADE.

TO FINAL ACCEPTANCE BY THE CITY.

NOTICE: ALL LANDOWNERS. DEVELOPERS. AND CONTRACTORS FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM

FINAL ACCEPTANCE/CITY: THE DEVELOPER OR CONTRACTOR MAY BE REQUIRED TO FURNISH THE CITY OF ROANOKE WITH A SET OF AS—BUILT PLANS PRIOR

REVISIONS

Remarks

1 | 12/14/01 | PER CITY OF ROANOKE 1st REVIEW

Designed By: ____J.V.u

Date: Aug. 21, 2001

W.O. # <u>01-0086</u>

N.B. # Wes #5

SHEET INDEX

SHEET TITLE C-1TITLE SHEET DIMENSIONAL & LANDSCAPE PLAN GRADING & UTILITY PLAN C-4SOIL EROSION PLAN & DETAILS

ANY VARIATION FROM APPROVED PLANS MUST BE APPROVED BY THE CITY OF ROANOKE

CIVIL DETAIL SHEET

LEGEND

SYMBOLS

ABBREVIATIONS .

| 1 2 | TIDDITE | 11110110 | | | J TWDOLJ. | |
|----------------|-------------------------------|-------------|-------------------------------------|---------------------------------------|---------------------------------------|--------------------------------|
| | | 1 | | EXISTING | NEW | |
| AHFH | ARROW HEAD TOP OF | MH | MANHOLE | 100.5 | 100.5 | SPOT ELEVATION |
| | FIRE HYDRANT | MIN | MINIMUM | 100 | (100) | CONTOURS |
| APPROX | APPROXIMATE | MON | MONUMENT | | | |
| ASPH | ASPHALT | NBL | NORTH BOUND LANE | ===8"ss=== | | SANITARY SEWER LINE |
| BC DIT | BOTTOM OF CURB BITUMINOUS | PROP | PROPOSED | 4"w | 4"W | WATERLINE |
| BIT BLDG | BUILDING | PUE PVMT | PUBLIC UTILITY EASEMENT PAVEMENT | ===8" conc= | | STORM DRAIN |
| BLK | BLOCK | R | RADIUS | | | |
| BM | BENCHMARK | RT | RIGHT | ———2"g —— | 2*G | GAS LINE |
| BW | BOTTOM OF WALL | R/W | RIGHT OF WAY | e. —— | E | OVERHEAD ELECTRIC LINE |
| CB | CINDER BLOCK | REQD | REQUIRED | * | <u> </u> | OVERHEAD TELEPHONE LINE |
| C&G | CURB & GUTTER | RR | RAILROAD | | | |
| CMP | CORRUGATED METAL PIPE | RYS | REAR YARD SETBACK | catv —— | CATV | OVERHEAD CABLE TELEVISION LINE |
| CONC | CONCRETE | SAN | SANITARY | ueut | — UE —— UT— | UNDERGROUND TEL OR ELEC LINE |
| COR | CORNER DOUBLE | SBL | SOUTH BOUND LANE | m | M | WATER OR GAS METER |
| DBL DEFL | DEFLECTION | SD SECT | STORM DRAIN SECTION | KIN | | |
| DLI L DI | DROP INLET | SE | SLOPE EASEMENT | | · · · · · · · · · · · · · · · · · · · | VALVE |
| DIA | DIAMETER | SS | SANITARY SEWER | · · · · · · · · · · · · · · · · · · · | | FIRE HYDRANT |
| DE | DRAINAGE EASEMENT | SSE | SANITARY SEWER EASEMENT | | | MANHOLE |
| <i>EBL</i> | EAST BOUND LINE | STA | STATION | | | |
| ELEC | ELECTRIC | STD | STANDARD | O C.O. | C.O. | CLEANOUT |
| ELEV | ELEVATION | STO | STORAGE | <u> </u> | | DROP INLET (CURB OR GRATE) |
| ENTR | ENTRANCE | SYS | SIDE YARD SETBACK | ₩ | | UTILITY POLE, GUY & ANCHOR |
| EP CW | EDGE OF PAVEMENT | TBM | TEMPORARY BENCHMARK | | Y | |
| EW EXIST | ENDWALL EXISTING | TC TEL | TOP OF CURB TELEPHONE | | | DITCH OR SWALE |
| EXIST . FDN | FOUNDATION | TRANS | TRANSFORMER | ——— Ç ——— E — | —— Ç —— <i>B</i> — | CENTERLINE OR BASELINE |
| FF . | FINISHED FLOOR | TW | TOP OF WALL | P | P | PROPERTY LINE |
| FG | FINISH GRADE | TYP | TYPICAL | <u> </u> | L | |
| GC . | GENERAL CONTRACTOR | VDOT | VIRGINIA DEPARTMENT OF | Δ | Δ | SURVEY TRAVERSE POINT |
| HPT | HIGH POINT | | TRANSPORTATION | Δ | Δ | DEFLECTION ANGLE |
| INV : | INVERT | VERT | VERTICAL | · · · · · · · · · · · · · · · · · · · | | DIRECT ANGLE |
| IP | IRON PIN | WBL | WEST BOUND LANE | 4 | 4 | |
| LT MBL | LEFT MINIMUM BUILDING LINE | YD | YARD | OF Y.L. | Ø Y.L. | YARD LIGHTING |
| MDL | MINIMUM BUILDING LINE | | | О⊐ Ү.Н. | ⊗- Y.H. | YARD HYDRANT |
| | | 1 | | 6 | | WELL |
| . , | | 1 | | <u>.</u> | | |
| | | Pr. | | ₩ | | BENCHMARK |
| | | | | x x | , | <i>FENCE</i> |
| | The state of the state of | your again. | | | | |
| | | | 77. 22. | | • | TREE LINE |
| : | | | e arm | | • | · RAILROAD |
| | | | and the second of the second | <u>&</u> | | HANDICAPPED SPACE |

Name of Site Plan

V.F.W. POST 1264

| 4930 Grandview Avenue, N.甚. Location between Empress Drive & Marr Street CITY OF ROANOKE, VIRGINIA | DEVELOPMENT PLAN APPROVED Oa |
|---|---|
| V.f.W. Post 1264 Owner 3895 Melrose Avenue Roanoke, Virginia 24017 | Agent, Planning Commission Development Engineer 12-20- |
| Contractor SUBJECT TO BID | Any changes to this approved plan must be coordinated with Agent to the Planning Commission and revisions approved p to construction. |

City of Roanoke Tax Parcel

As-Built 2002

FRANK B. CALDWELL,

#CWA CALDWELL WHITE ASSOCIATES

ENGINEERS / SURVEYORS / PLANNERS 4203 MELROSE AVENUE, N.W.

P.O. BOX 6260 ROANOKE, VIRGINIA 24017 DEC 2001 (540) 366-3400 FAX: (540) 366-8702

E-MAIL: CWAROANOKE@AOL.COM DEPARTME