

SITE STATISTICS:

Tax Number: 2370101
Parcel Total Area: 5.287 of 15.828 acres (689,480sf)
Current Owner: City of Roanoke
Disturbed Limits Area: 6.203 acres (270,210sf)
Zone: CLS (45.3 acres) & ROS - Recreation & Open Space (410.53 acres)

Water: Public - Waterline extension required; Utilize existing service for Phase II; New service for Phase II
Sewer: Public - Utilize existing service for Phase III; New service for Phase II
WWA AVAILABILITY #13-201

Parcel to be Subdivided into Multiple Parcels and developed in multiple phases

Parcel 1

Area: 1.854 acres (80,748 sf)
Zone: CLS - Commercial Large Site
Minimum Frontage Required: 150'; Maximum Frontage: None; Actual: 222' on Valley View BLVD
Minimum Lot Size: 1 acre (43,560 sf); Actual: 1.854 acres
Setback Requirements:
Front: Minimum: 0' (by zone); Maximum: None (by zone), 90' (Proffered); Actual: 49.1'
Side: 0'; Actual: 59.6'
Rear: 0' (by zone); Minimum: 95' (Proffered); Actual: 106.2'
Proposed Use: Hotel
Maximum Building Height: None (by zone); 54' (Proffered); Actual: 54'
Maximum Floor Area Ratio: 5.0; Actual: 0.87
Maximum Impervious Area: 80%; Actual: 1.1 Impervious acres + 50% (0.3 paver acres) = 67%
Minimum Parking Spaces Required: 1 space per room + 107 spaces
Reduction for proximity to public transit: 80% x 107 = 86 spaces
Maximum Parking Allowed: 140% of minimum required = 1.4 x 86 = 121 spaces
Parking Provided: 86 spaces including 8 handicap

Parcel 2

Area: 1.120 acres (48,794 sf)
Zone: CLS - Commercial Large Site
Minimum Frontage Required: 150'; Maximum Frontage: None; Actual: 190' on Valley View BLVD
Minimum Lot Size: 1 acre (43,560 sf); Actual: 1.120 acres
Setback Requirements:
Front: Minimum: 0' (by zone); Maximum: None (by zone), 90' (Proffered); Actual: 52.9'
Side: 0'; Actual: 1.1'
Rear: 0' (by zone); Minimum: 95' (Proffered); Actual: 180'
Proposed Use: Eating Establishment or Eating/Drinking Establishment
Maximum Building Height: None (by zone); 54' (Proffered); Actual: 54'
Maximum Floor Area Ratio: 5.0; Actual: 0.10
Maximum Impervious Area: 80%; Actual: 0.476 Impervious acres + 50% (0.37 paver acres) = 59%
Minimum Parking Spaces Required:
Eating Establishment - 1 per 100sf net floor area
5816 gross sf x 75% = 4363 sf / 100 = 44 spaces required
Maximum Parking Allowed: 150% of minimum required = 1.4 x 44 = 66 spaces
Parking Provided: 86 spaces (84 spaces are pervious pavers) (Handicap shared with Parcel One)

Parcel 3

DETAILED SITE PLAN WILL BE COMPLETED AT A FUTURE DATE. PHASE IV SHOWN ON SHEET C03 FOR INFORMATION/PLANNING PURPOSES ONLY.

Zone: CLS - Commercial Large Site
Minimum Frontage Required: 150'; Maximum Frontage: None; Actual: 188' on Valley View BLVD
Minimum Lot Size: 1 acre (43,560 sf); Actual: 2.313 acres
Setback Requirements:
Front: Minimum: 0' (by zone); Maximum: None (by zone), 90' (Proffered); Planned: 59+1/2'
Side: 0'; Planned: 10+1/2'
Rear: 0' (by zone); Minimum: 95' (Proffered); Planned: 98+1/2'
Proposed Use: Hotel
Maximum Building Height: None (by zone); 54' (Proffered); Planned: 54'
Maximum Floor Area Ratio: 5.0; Planned: 1.08
Maximum Impervious Area: 80%; Planned: 1.31 Impervious acres + 50% (0.34 paver acres) = 64%
Future Parking Required: 110+1/2 x 80% (public transit reduction) = 88
Future Parking Shown: 107 spaces

Lighting: Proffered conditions apply. No site lighting proposed at this time. No site lighting shall be constructed without an approved lighting plan.
Landscape Requirements: See Landscape Plan
Dumpster: Dumpsters are planned for Phase II and III. Dumpsters must meet requirements of Sec. 36.2-403(C)(1), (2), and (3) and Sec. 36.2-649
Roof mounted equipment shall be screened in accordance with Section 36.2-649. Ground mounted equipment shall be in accordance with Section 36.2-605. Mechanical equipment locations are unknown. Screen of equipment shall be as shown on Landscape Details Sheet unless otherwise approved.
No signage approval is given with the review of this site plan. Please contact Permit Center staff for sign permit information.

SEC. 36.2-334 AIRPORT NAVIGATION OVERLAY DISTRICT (AN):

Development is a minimum of 4,100 feet from the end of Runway 33 (currently listed as 34). The Runway end elevation is 1142.1. For the development, the maximum lowest finished floor elevation is 1079.5 with a building height of no more than 54' (as proffered). As such, the maximum building height is 1153.50 which is 6.6' below the end of the runway and much lower than the allowed elevation as described in the (AN) Overlay District.

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

NOTICE: All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

RIGHT-OF-WAY EXCAVATION PERMIT: Prior to the commencement of any digging, alteration or construction within the public right of way (streets, alleys, public easements) a right of way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.

LAND DISTURBANCE PERMIT: An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.

PLANS AND PERMITS: A copy of the plans approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

LOCATION OF UTILITIES: The contractor shall verify the location of all existing utilities prior to the commencement of any construction.

CONSTRUCTION ENTRANCE: The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of the construction entrance shall be as shown on the plans.

STREETS TO REMAIN CLEAN: It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust and/or any type of construction materials or litter at all times.

BARRICADES/DITCHES: The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.

SEWER AND PAVEMENT REPLACEMENT: Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.

APPROVED PLANS/CONSTRUCTION CHANGES: Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.

FINAL ACCEPTANCE/CITY: The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a FIELD SURVEY Final correct set of as-built plans of the newly constructed storm drain and/or stormwater management facilities prior to final acceptance and issuance of a certificate of occupancy by the City. As-built plans shall be provided in the State Plane Virginia South Coordinate System, NAD 1983, FIPS 4502 Feet, US Survey Feet, Datum NA 83, in the form of 1 paper copy and 1 digital AUTOCAD file.

VALLEY VIEW SUITES

PREPARED FOR NDRA II LLC

4412 HUFF LANE, N.W.

FRONTING ON VALLEY VIEW BLVD., N.W.

CITY OF ROANOKE, VA

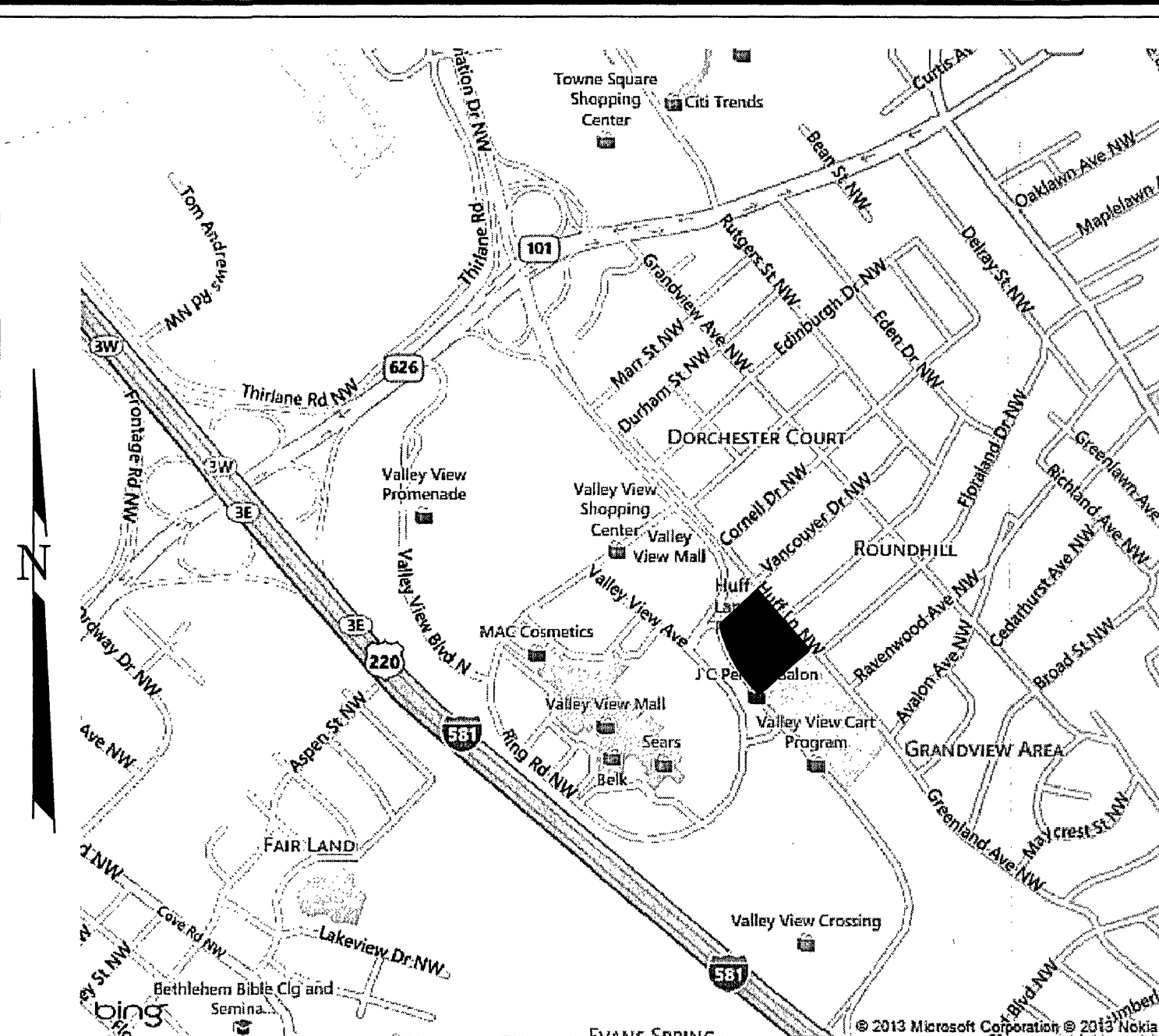
CP # 13-0028

JUNE 17, 2013

LATEST REVISION NOVEMBER 19, 2013

SHEET INDEX:

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C29	PHASE 1 OFF-SITE WATERLINE IMPROVEMENTS
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L01	LANDSCAPE PLAN
L02	LANDSCAPE DETAILS



VICINITY MAP

(BY BING MAPS)

NO SCALE

CONTACT INFORMATION:

Engineer/
Surveyor: Parker Design Group
816 Boulevard
Salem, VA 24253
Ph. 540.387.1153
Fax. 540.389.5767

Owner/
Developer: NDRA II, LLC
931 South Ave.
Colonial Heights, VA 23834

Miss Utility of Virginia
204 RIVERS BEND BOULEVARD
CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN
VIRGINIA! CALL 1-800-552-7001
VA LAW REQUIRES 48 HOURS
NOTICE BEFORE YOU EXCAVATE.

GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ±2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- It is the contractor's responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- Owner is responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
- All construction will be in accordance with City of Roanoke standards and specifications.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing City of Roanoke mapping.
- Contractor shall coordinate installation of any new permanent electrical service, telephone service, gas and cable TV. These utilities lines shall be installed underground in accordance with City code 36.2-610.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility"; 1-800-552-7001.
- All storm will be visually inspected by the City's Inspector prior to backfilling the trenches.
- Distances and radii referred to are to the face of curb, unless otherwise noted.
- Any Rights-of-way, lot lines, and easements to be dedicated will be done on plats separate from these plans.
- Pavement sections on approved plans are based on a minimum CBR of 7.
- Lighting shall not glare onto adjoining properties or on any public street right-of-way.
- Proposed signage shall be permitted separately in accordance with the City of Roanoke regulations and/or proffered conditions.
- A pre-construction conference should be scheduled with the City of Roanoke Department of Planning Building and Development, to be held at least forty eight (48) hrs prior to any construction.
- A field review shall be made by the City of Roanoke during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the owner shall install additional measures as determined and required by the City.
- Field corrections shall be approved by the development engineer in the City of Roanoke Department of Planning Building and Development prior to such construction.
- Field construction shall honor proposed drainage divides as shown on plans.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
- Contractor shall maintain two-way traffic at all times. Street closures are not allowed unless authorized by the City Traffic Engineer.
- No site lighting shall be constructed without the approval of a lighting plan.

ENGINEER NOTES:

Parker Design Group assumes no responsibility for adequacy of plans or for information on plans until such plans have been approved by the required public agencies.

Any work commenced on a project prior to plan approval is at the sole risk of the developer.

Parker Design Group does not guarantee the completion or quality of performance of the contracts or the completion or quality of contracts by Subcontractors or other third parties.

Proffers:

The applicant hereby requests that the following proffered condition be adopted as it pertains to portion of Official Tax No. 2370101.

- The proposed development will be developed in substantial conformance to the development plan as shown herein.
- Any building facade fronting Valley View Boulevard or the first 60' either side of building measured from Valley View Boulevard facade that is larger than 30' shall implement one of the following architectural elements:
 - Minimum 2' offset, or
 - Change of building material, and
 - Change of color or texture
- Buildings shall not be more than 54' in height. Any proposed building's ground level finished floor shall be no higher than elevation 1079.5' based on vertical datum, NAVD88, US feet.
- Building finish material shall be brick, exterior insulation finishing system (EIFS), stone, split face wood or simulated wood product, or any other material approved by the City Zoning Administrator. Metal finishes... exceed 30% of exterior finish of a building.
- The minimum ground floor facade transparency will be 20% or greater and the upper floor facade transparency will be 15% or greater, dispersed equally.
- Guest rooms shall be accessed by interior corridor only.
- The exterior building materials and colors will be characteristic of the immediate surrounding area as determined by the City Zoning Administrator.
- Sidewalk shall be constructed along Valley View Boulevard to the signalized cross walk at the closest intersection along Valley View Boulevard. Planting strips along this sidewalk shall be a minimum of 6 feet wide and sidewalks shall be 5 feet wide. Improvements shall comply with the Complete Streets Policy.
- Public Right of Way improvements shall be constructed as defined by recommendations made in Traffic Impact Analysis and approved by City Traffic Engineer.
- Pedestrian access to a building shall be provided along the building facade facing Valley View Boulevard.
- In no case shall a primary entry to a building face Huff Lane.
- Light levels, generated by the site, shall not exceed 0.5-foot candle measured at the right of way along Huff Lane.
- No building mounted signage shall be allowed within 150' of Huff Lane R/W and no building mounted signage shall be allowed on any building facade facing Huff Lane.
- Free standing signage shall only be allowed within the 90' Maximum Setback from Valley View Boulevard.
- A minimum 30' landscape buffer shall be provided along the length of Huff Lane. This buffer shall consist of the following:
 - Variable height berm between 3' and 6' tall.
 - Large Deciduous trees planted at a rate of 1 tree per 75 linear feet with a minimum 12' tall planting height.
 - Small Deciduous trees planted at a rate of 1 tree per 33 linear feet.
 - Shrubs shall be clustered and planted with an equivalent quantity of 1 shrub per 5 linear feet.
- A minimum 10' landscape buffer shall be provided along the property line adjacent to the City Park. The buffer shall include a large deciduous tree planted at a rate of 1 tree per 40 linear feet.
- Buffers described in proffers #15 and #16 shall be constructed along the entire length of the property prior to issuance of a certificate of occupancy for any building.
- All street trees and a minimum of 50% of the interior parking lot trees shall be large deciduous trees per Table 642-1 of Zoning Ordinance.
- Any restaurant use shall have an emission cleaning device installed on its exhaust system that will include a particulate arrestor or equal as approved by City Building Official.

LOCAL APPROVALS:

City of Roanoke
Planning Building and Development
DEVELOPMENT PLAN APPROVED

Agent, Planning Commission *[Signature]* Date 3/21/14
Development Engineer *[Signature]* 3/26/14
Zoning Administrator *[Signature]* 3/27/14

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.



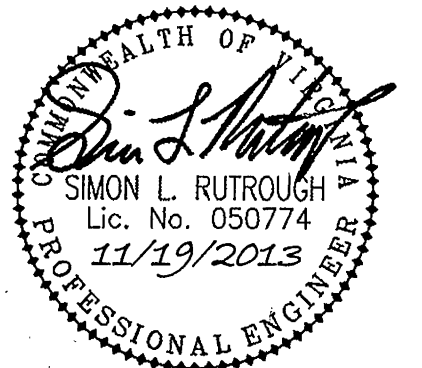
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Valley View Suites

Prepared for NDRA II, LLC

Portion of Tax No. 2370101
City of Roanoke, VA

Comprehensive Development Plan
Phases I-III

Subdivision Site Plan
Phases I-IV

REVISIONS:

Address Comments - Modify Phasing
SLR 2013-12-18
Address Comments
SRB/SLR 2013-11-19

DESIGNED BY: SLR/PJB

DRAWN BY: SLR

CHECKED BY: SLR

SCALE: N/A

DATE: 17 June 2013

SHEET TITLE:

COVER SHEET

C01

01 OF 32

PROJECT NUMBER:

11-0140-07