

**SITE SUMMARY:**

OWNER: VALLEY POINT HOLDING COMPANY  
 2404 ELECTRIC RD STE B  
 ROANOKE, VA 24018

SITE ADDRESS: 0 VALLEYPARK DR, ROANOKE VA, 24019

TAX MAP NUMBER: 037.07-01-14.09-0000

EXISTING LOT SIZE: 0.69 AC

ZONING: I-1 LOW INTENSITY INDUSTRIAL DISTRICT  
 \*ORDINANCE 1087-3 10/1/1987

PROPOSED USE: GENERAL OFFICE

MINIMUM LOT SIZE REQUIRED: 15,000 SF

UTILITY SERVICE: PUBLIC WATER AND SANITARY SEWER (W.V.W.A.)

MINIMUM LOT FRONTAGE: 75 LF OF FRONTAGE

SETBACKS: 30' F.Y.S. (20' WHEN ALL PARKING LOCATED BEHIND FRONT BLDG. LINE)  
 10' S.Y.S. (3' FOR ACCESSORY STRUCTURES BEHIND BLDG. LINE)  
 15' R.Y.S. (3' FOR ACCESSORY STRUCTURES)

MAXIMUM BUILDING HEIGHT: UNLIMITED

BUILDING HEIGHT PROVIDED: APPROX. 30'

MAXIMUM BUILDING COVERAGE: 50%

OVERALL BUILDING COVERAGE PROVIDED: 15%

MAXIMUM LOT COVERAGE: 90%

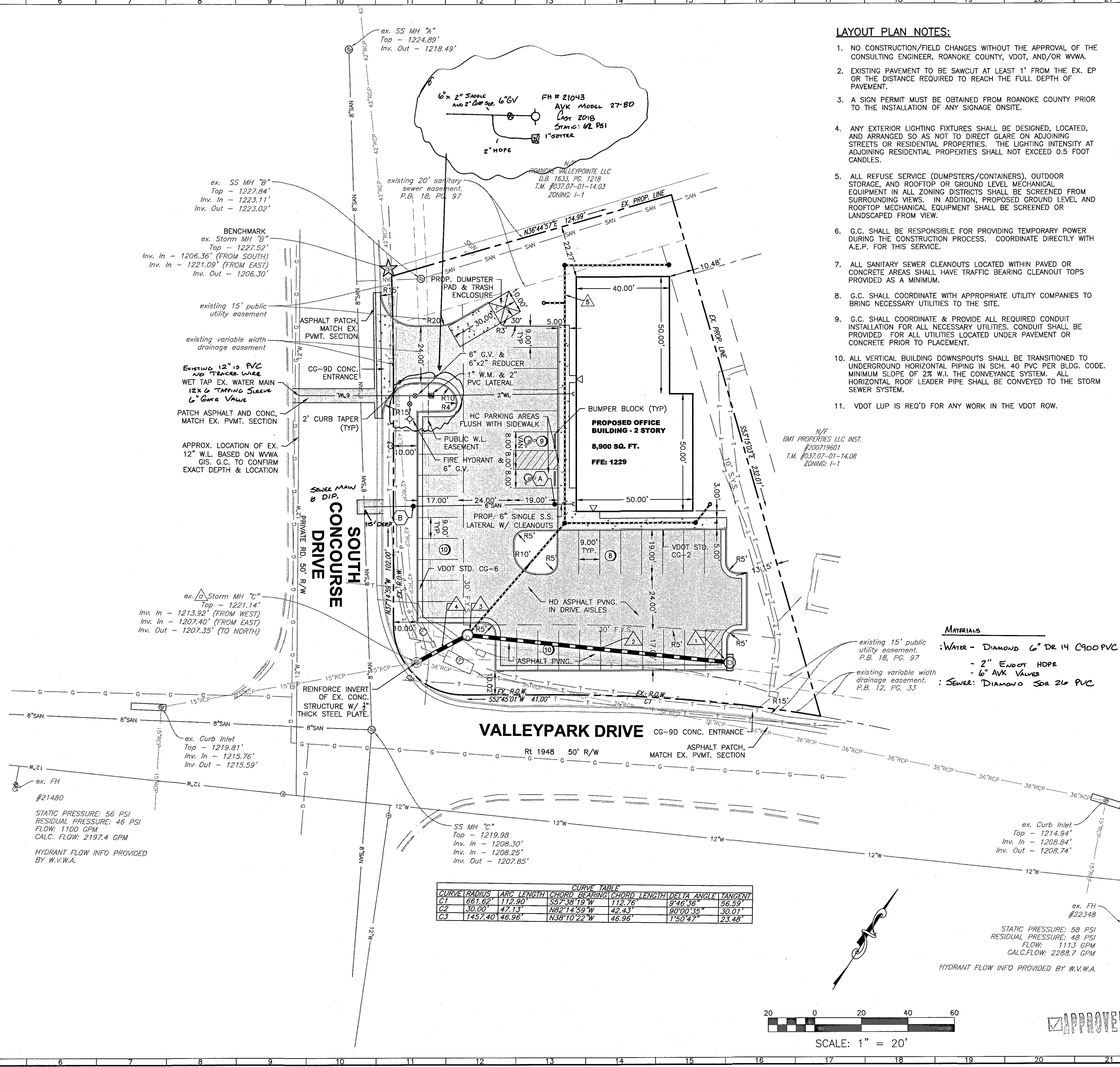
OVERALL LOT COVERAGE PROVIDED: 59%

MINIMUM PARKING REQUIRED: 27 (3 SPACES PER 1000 SF OF BLDG. AREA)

PARKING PROVIDED: 37 SPACES INCLUDING 2 HC

**PROFFERED CONDITIONS**

- ORDINANCE 1087-3 10/1/1987
- The property will not include permitted uses for:
    - Automobile painting, upholstering, repairing, rebuilding, reconditioning, body and fender work, truck repairing or overhauling;
    - Manufacture of pottery and figurines or other similar ceramic products;
    - Veterinary hospital and commercial kennels with exterior runs and yards;
    - Outside flea markets, unless a special exception has been granted by the Board of Supervisors.
  - That the property will be developed so as to utilize landscaping and preserve existing vegetation where possible. No more than 75% of each building site will be developed for building and parking uses.
  - That all on-premises signage will be aesthetically pleasing and be no more than forty (40) square feet in sign face area and no more than eight (8) feet in height. Outdoor advertising signs (billboards) will be prohibited.
  - That there will be no outdoor storage except under the following conditions:
    - that it not be visible from the street
    - that it not be higher than the elevation of the building
    - that it not comprise an area greater than 50% of the floor area of the building
    - that it be screened from view with landscaping and/or other approved screening materials in accordance with the provisions of the Roanoke County Ordinance.
  - That all utilities will be underground.
  - That there will be no on-street parking.
  - That there will be sufficient truck loading spaces designed for each building site.
  - That the Petitioner will review the drainage situation for Valleypointe and implement a design for drainage facilities to either retain or detain the two (2) year storm (as has been required by Roanoke County) and to consider retention or detention for a ten (10) year storm.
  - That all exterior lighting in parking areas on the northwest side of the project will be directed away from adjacent residential areas.
  - That primary access to the property will be from Peters Creek Road.



**LAYOUT PLAN NOTES:**

- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, VDOT, AND/OR WWA.
- EXISTING PAVEMENT TO BE SAWCUT AT LEAST 1' FROM THE EX. EP OR THE DISTANCE REQUIRED TO REACH THE FULL DEPTH OF PAVEMENT.
- A SIGN PERMIT MUST BE OBTAINED FROM ROANOKE COUNTY PRIOR TO THE INSTALLATION OF ANY SIGNAGE ONSITE.
- ANY EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS), OUTDOOR STORAGE, AND ROOFTOP OR GROUND LEVEL MECHANICAL EQUIPMENT IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, PROPOSED GROUND LEVEL AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED FROM VIEW.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER DURING THE CONSTRUCTION PROCESS. COORDINATE DIRECTLY WITH A.E.P. FOR THIS SERVICE.
- ALL SANITARY SEWER CLEANOUTS LOCATED WITHIN PAVED OR CONCRETE AREAS SHALL HAVE TRAFFIC BEARING CLEANOUT TOPS PROVIDED AS A MINIMUM.
- G.C. SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES TO BRING NECESSARY UTILITIES TO THE SITE.
- G.C. SHALL COORDINATE & PROVIDE ALL REQUIRED CONDUIT INSTALLATION FOR ALL NECESSARY UTILITIES. CONDUIT SHALL BE PROVIDED FOR ALL UTILITIES LOCATED UNDER PAVEMENT OR CONCRETE PRIOR TO PLACEMENT.
- ALL VERTICAL BUILDING DOWNSPOUTS SHALL BE TRANSITIONED TO UNDERGROUND HORIZONTAL PIPING IN SCH. 40 PVC PER BLDG. CODE. MINIMUM SLOPE OF 2% W.I. THE CONVEYANCE SYSTEM. ALL HORIZONTAL ROOF LEADER PIPE SHALL BE CONVEYED TO THE STORM SEWER SYSTEM.
- VDOT LUP IS REQ'D FOR ANY WORK IN THE VDOT ROW.

**MATERIALS**

WATER - DIAMOND 6" DR 14 C900 PVC  
 - 2" ENDET HDPE  
 - 6" ANK VALVES

SEWER: DIAMOND SDR 26 PVC

**BALZER AND ASSOCIATES, INC.**  
 REFLECTING TOMORROW  
 www.balzer.cc

Roanoke  
 New River Valley  
 Richmond  
 Staunton  
 Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
 SITE DEVELOPMENT ENGINEERING  
 LAND USE PLANNING & ZONING  
 LANDSCAPE ARCHITECTURE  
 LAND SURVEYING  
 ARCHITECTURE  
 STRUCTURAL ENGINEERING  
 TRANSPORTATION ENGINEERING  
 ENVIRONMENTAL & SOIL SCIENCE  
 WETLAND DELINEATIONS & STREAM EVALUATIONS

**Balzer and Associates, Inc.**  
 1208 Corporate Circle  
 Roanoke, VA 24018  
 540-772-9580  
 FAX 540-772-9050

COMMONWEALTH OF VIRGINIA  
 CHRISTOPHER P. BURNS  
 Lic. No. 047338  
 11/15/18  
 PROFESSIONAL ENGINEER

**VALLEYPARK OFFICE BUILDING**  
 0 VALLEYPARK DRIVE  
 LAYOUT & UTILITY PLAN  
 CATAWBA DISTRICT  
 ROANOKE COUNTY, VIRGINIA

DRAWN BY: CLL  
 DESIGNED BY: CPB  
 CHECKED BY: CPB  
 DATE: 10/3/2018  
 SCALE: 1"=20'

REVISIONS:  
 10/29/2018  
 11/15/2018

SHEET NO. **C3**  
 JOB NO. 04180061.00

