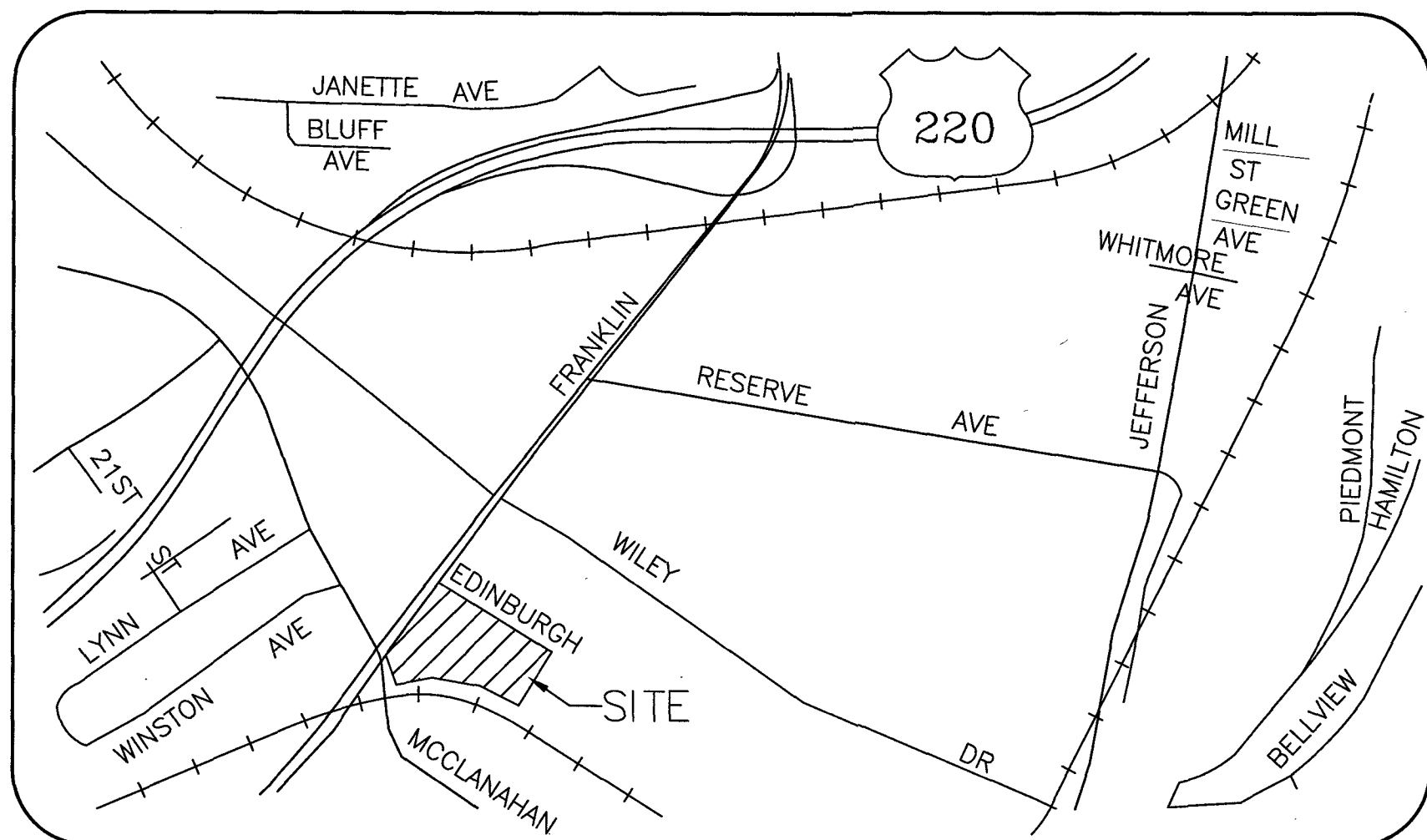


VICINITY MAP

NTS



LEGEND

| | | | |
|---------------|----------------------------|------------------|---|
| -----348----- | EX. INTRMDT. CONTOUR | ----- | PROP. INTRMDT. CONTOUR |
| -----345----- | EX. INDEX CONTOUR | -----1320----- | PROP. INDEX CONTOUR |
| + 35.55 | EX. SPOT ELEVATION | + 35.55 35.05 | PROP. SPOT ELEVATION |
| 8" WL | EX. WATER LINE | 8" WL | PROP. WATER LINE |
| 8" SAN | EX. SANITARY SEWER | 8" SAN | PROP. SANITARY SEWER |
| 18" RCP | EX. STORM PIPE | 18" RCP | PROP. STORM PIPE |
| ----- | EX. EDGE OF PAVEMENT | ----- | PROP. EDGE OF PAVEMENT |
| ----- | EX. BUILDING | ----- | PROP. BUILDING |
| ----- | EX. CONCRETE | ----- | PROP. CONCRETE |
| ----- | EX. PAVEMENT | ----- | PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY) |
| ----- | EX. GRAVEL | ----- | PROP. GRAVEL |
| ----- | PAVEMENT REPLACEMENT | ----- | PROP. PAVERS |
| ● | EX. POWER POLE | ● | PROP. POWER POLE |
| ● | EX. SANITARY SEWER MANHOLE | ● | PROP. MANHOLE |
| ● | EX. STORM SEWER MANHOLE | ● | SIGN |
| ● | CLEANOUT | ● | WATER METER |
| ● | EX. LIGHT POLE | ● | PROP. GATE VALVE |
| △ | WATER LINE REDUCER | △ | BLOW-OFF VALVE |
| □ | EX. TELEPHONE | ☆ | BENCHMARK |
| G | EX. GAS LINE | G | PROP. GAS LINE |
| OHU | EX. OVERHEAD CABLE | OHU | PROP. OVERHEAD CABLE |
| X | EX. FENCE | P | PROP. UNDERGRND POWER LINE |
| ----- | EX. TREE LINE | X | PROP. FENCE |
| ----- | ADJOINING PROPERTY LINE | ----- | PROP. TREE LINE |
| ■ | EXISTING ROAD MONUMENTS | ----- | SITE PROPERTY LINE |

ABBREVIATIONS

| | | | | | |
|--------|-------------------------|--------|--------------------------|-------|---------------------------------------|
| AHFX | ARROW HEAD TOP OF | EVCS | END VERT. CURVE STA. | RR | RAILROAD |
| APPROX | APPROXIMATE | EW | ENDWALL | RYS | REAR YARD SETBACK |
| ASPH | ASPHALT | EXST | EXISTING | SAN | SANITARY |
| BC | BACK OF CURB | FDN | FOUNDATION | SBL | SOUTH BOUND LANE |
| BIT | BITUMINOUS | FF | FINISHED FLOOR | SD | STORM DRAIN |
| BLDG | BUILDING | FG | FINISH GRADE | SECT | SECTION |
| BLK | BLOCK | GBE | GRADE BREAK ELEVATION | SE | SLOPE EASEMENT |
| BM | BENCHMARK | GBS | GRADE BREAK STATION | SS | SANITARY SEWER |
| BS | BOTTOM OF BOTTOM STEP | HOA | HOMEOWNERS ASSOCIATION | SSD | STOPPING SIGHT DISTANCE |
| BVCE | BEGIN VERT. CURVE ELEV. | HPT | HIGH POINT | SSE | SANITARY SEWER EASEMENT |
| BVCS | BEGIN VERT. CURVE STA. | HSD | HEADLIGHT SIGHT DISTANCE | STA | STATION |
| BW | BOTTOM OF WALL | INTX | INTERSECTION | STD | STANDARD |
| CB | CINDER BLOCK | INV | INVERT | STO | STORAGE |
| C&G | CURB & GUTTER | IP | IRON PIN | SYS | SIDE YARD SETBACK |
| CMP | CORRUGATED METAL PIPE | LT | LEFT | TBM | TEMPORARY BENCHMARK |
| CONC | CONCRETE | LVC | LENGTH OF VERTICAL CURVE | TBR | TO BE REMOVED |
| COR | CORNER | MH | MANHOLE | TC | TOP OF CURB |
| DBL | DOUBLE | MIN | MINIMUM | TEL | TELEPHONE |
| DEFL | DEFLECTION | MBL | MINIMUM BUILDING LINE | TRANS | TRANSFORMER |
| DI | DROP INLET | MON | MONUMENT | TS | TOP OF TOP STEP |
| DIA | DIAMETER | NBL | NORTH BOUND LANE | TYP | TOP OF WALL |
| DE | DRAINAGE EASEMENT | PROP | PROPOSED | VDOT | VIRGINIA DEPARTMENT OF TRANSPORTATION |
| ELEC | ELECTRIC | PUE | PUBLIC UTILITY EASEMENT | VERT | VERTICAL |
| ELEV | ELEVATION | PVMT | PAVEMENT | WBL | WEST BOUND LANE |
| ENTR | ENTRANCE | R | RADIUS | WWA | WESTERN VIRGINIA WATER AUTHORITY |
| EP | EDGE OF PAVEMENT | RT | RIGHT | YD | YARD |
| EVCE | END VERT. CURVE ELEV. | R.O.W. | RIGHT OF WAY | | |
| | | REQD | REQUIRED | | |

VIRGINIA VARSITY STORAGE BUILDING

1948 FRANKLIN ROAD, SW
CITY OF ROANOKE, VIRGINIA

SHEET INDEX

- C1 COVER SHEET
- C2 EX. CONDITIONS & DEMO PLAN
- C3 LAYOUT & UTILITY PLAN
- C4 GRADING PLAN
- C5 EROSION & SEDIMENT CONTROL (E.S.C.) PLAN
- C6 E.S.C. NOTES
- C7 E.S.C. DETAILS
- C8 PROFILES
- C9 GENERAL NOTES
- C10 LANDSCAPE PLAN
- C11 DETAILS A
- C12 DETAILS B
- C13 DETAILS C
- C14 EXTERIOR LIGHTING CUTSHEETS 1
- C15 EXTERIOR LIGHTING CUTSHEETS 2



COMPREHENSIVE SITE PLAN #: CP19-0015

WESTERN VIRGINIA WATER AUTHORITY NOTES:

AVAILABILITY No.: 19-XXX

GENERAL NOTES:

A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE WESTERN VIRGINIA WATER AUTHORITY TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION OF THE APPROVED WATER AND SANITARY SEWER FACILITIES.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

ALL SANITARY SEWER AND WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS, MANHOLES, ETC. AFTER PAVING AND ADJUSTING TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH THE STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT-OF-WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL REFER TO THE WESTERN VIRGINIA WATER AUTHORITY STANDARD WATER AND SEWER REGULATIONS FOR CONSTRUCTION DETAILS AND INSTALLATION METHODS AS REQUIRED TO COMPLETE THE PROPOSED UTILITY FACILITIES AS INDICATED BY THESE DRAWINGS.

FIELD CORRECTIONS SHALL BE APPROVED BY THE WWA ENGINEERING DIVISION PRIOR TO SUCH CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS PRIOR TO SUBSTANTIAL COMPLETION OF ANY NEW PUBLIC EXTENSIONS.

WATER NOTES:

WATER MAINS SHALL BE MINIMUM CLASS 350 DUCTILE IRON IN ACCORDANCE TO AWWA C151 OR DR-14 PVC IN ACCORDANCE WITH AWWA C-900.

WATER LATERALS FROM THE METER TO THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC WATER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

SEWER NOTES:

COMMERCIAL SANITARY SEWER LATERAL SHALL BE MINIMUM 6" PIPE INSTALLED AT SLOPES AS SHOWN ON THE PLAN.

THE LATERALS AND REQUIRED FITTINGS LOCATED WITHIN A PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT SHALL BE OF THE SAME TYPE OF MATERIAL AS THE MAINLINE SEWER PIPE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC SEWER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

ALL SANITARY SEWER PIPING SHALL BE PVC (POLYVINYL CHLORIDE) MANUFACTURED IN ACCORDANCE WITH ASTM DESIGNATION 3034-77 (SDR 35) UNLESS OTHERWISE NOTED ON THE PLANS/PROFILES.

ALL MANHOLE FRAMES AND COVERS SHALL BE WATERTIGHT AND ALL COVERS SHALL BE BOLT-DOWN MANHOLE COVERS (SEE DETAIL S-05 AND S-06) WHERE APPLICABLE.

CITY OF ROANOKE & UTILITY CONTACTS:

CITY OF ROANOKE DEVELOPMENT REVIEW COORDINATOR - ADRIAN GILBERT (540) 853-5796

ROANOKE GAS COMPANY - ED PAINTER (540) 777-3801

VERIZON - STEVEN CRONEMEYER (540) 563-2261

AMERICAN ELECTRIC POWER - KEITH FREEMAN (540) 427-3643

WESTERN VIRGINIA WATER AUTHORITY - AARON SHEARER (540) 283-2941

ROANOKE CITY TRAFFIC ENGINEER - IAN COFFEY (540) 853-2210 (EMAIL: IANCOFFEY@ROANOKEVA.GOV)

CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENT: SEE SHEET C9

ENGINEERS NOTES:

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY PERFORMED BY BALZER AND ASSOCIATES, INC., DATED JANUARY 2019.

SITE & ZONING SUMMARY:

OWNER: PROVIDENCE NATURAL MARKET, LLC
2087 APPERSON DRIVE
SALEM, VA 24153

DEVELOPER: VA VARSITY TRANSFER
C/O LDG, LLC
2087 APPERSON DRIVE
SALEM, VA 24153

TAX MAP NUMBER: 1040403

EXISTING PARCEL SIZE: 2.28 AC.

EXISTING USE: WAREHOUSE

ZONING: I1 - LIGHT INDUSTRIAL DISTRICT

FLOODPLAIN INFO:

DEVELOPMENT IS IN A FLOODPLAIN OVERLAY DISTRICT, "FLOOD PROOF CERTIFICATE" IS REQ'D.

B.F.E. 937'

F.F.E. 939'

FEMA: AE FLOODZONE

MAP# 51161C0164G (9/28/2007)

PROPOSED LOT A

TAX MAP NUMBER: PORTION OF 1040403

NEW LOT AREA: 1.20 AC

PROPOSED USE: SELF STORAGE BUILDING

ZONING: I1 - LIGHT INDUSTRIAL DISTRICT

INDUSTRIAL I-1 DISTRICT REGULATIONS

MINIMUM LOT AREA ALLOWED/PROVIDED: 10,000 SF / 1.20 AC

MINIMUM LOT FRONTAGE ALLOWED/PROVIDED: 100' / 450'

(FRANKLIN ROAD SW & EDINBURGH ST. SW)

SETBACKS:

FRONT YARD MINIMUM/ MAXIMUM SETBACK: 0'/NO MAX.

SIDE YARD SETBACK: 0'

REAR YARD SETBACK: 0'

MAXIMUM BUILDING HEIGHT ALLOWED/PROVIDED: NONE / EXISTING

FLOOR AREA RATIO MAX ALLOWED/PROVIDED: 2.0 / 1.38

MAXIMUM IMPERVIOUS SURFACE AREA ALLOWED/PROVIDED: 90% / 88%

MIN. TREE CANOPY ALLOWED / PROVIDED: 10% / 10%

MINIMUM PARKING REQUIRED: 1 SPACE PER 5,000 SF UP TO 50,000 SF OF BUILDING AREA, THEN 1 SPACE FOR EVERY 10,000 SF OF REMAINING BUILDING AREA
±25,000 SF
5 SPACES REQUIRED

PROPOSED LOT B

TAX MAP NUMBER: PORTION OF 1040403

NEW LOT AREA: 1.08 AC

PROPOSED USE: SELF STORAGE BUILDING

ZONING: I1 - LIGHT INDUSTRIAL DISTRICT

INDUSTRIAL I-1 DISTRICT REGULATIONS

MINIMUM LOT AREA ALLOWED/PROVIDED: 10,000 SF / 1.08 AC

MINIMUM LOT FRONTAGE ALLOWED/PROVIDED: 100' / 250'

(EDINBURGH STREET NW)

SETBACKS:

FRONT YARD MINIMUM/ MAXIMUM SETBACK: 0'/NO MAX.

SIDE YARD SETBACK: 0'

REAR YARD SETBACK: 0'

MAXIMUM BUILDING HEIGHT ALLOWED/PROVIDED: NONE / ±40'

FLOOR AREA RATIO MAX ALLOWED/PROVIDED: 2.0 / 1.91

MAXIMUM IMPERVIOUS SURFACE AREA ALLOWED/PROVIDED: 90% / 82%

MIN. TREE CANOPY ALLOWED / PROVIDED: 10% / 10%

MINIMUM PARKING REQUIRED: (ALL INDUSTRIAL USES)
1 SPACE PER 1,000 SF UP TO 10,000 SF OF BUILDING AREA, THEN 1 SPACE FOR EVERY 2,000 SF OF REMAINING BUILDING AREA
±90,000 SF TOTAL
50 SPACES REQUIRED

PARKING SUMMARY:

55 SPACES REQUIRED

74 TOTAL SPACES PROVIDED

- 39 ON-STREET PARKING SPACES

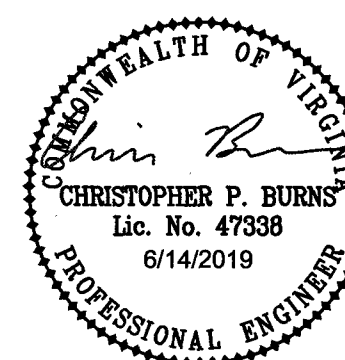
- 35 OFF-STREET PARKING SPACES INC. (2) H.C. SPACES



BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
New River Valley / Staunton
Harrisonburg / Lynchburg
www.balzer.cc

1208 Corporate Circle
Roanoke, VA 24018
540.772.9580



VIRGINIA VARSITY STORAGE BUILDING

1948 Franklin Rd. SW

COVER SHEET

DRAWN BY

EJP

DESIGNED BY

BTC

CHECKED BY

CPB

DATE

5/1/2019

SCALE

N/A

REVISIONS

6/14/2019

C1
PROJECT NO 03180074.00

K. Winslow