

- NOTES:
1. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP (#16100028 D), DATED OCTOBER 15, 1993 AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. ZONED "X". IT DOES HOWEVER, LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD PLAIN AS DESIGNATED BY LUMSDEN ASSOCIATES, P.C. AS REQUIRED BY THE COUNTY OF ROANOKE.
 2. THIS PLAT WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT, DATED APRIL 1, 2003 BY SOUTHERN TITLE INSURANCE COMPANY.
 3. IRON PINS SET AT ALL CORNERS, UNLESS OTHERWISE NOTED.
 4. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
 5. THIS PLAT SUBDIVIDES ROANOKE COUNTY TAX PARCEL 39.16-1-18 AND TAX PARCELS 40.13-1-1 & 40.13-1-2. SEE SHEET 2 OF 3 FOR ORIGINAL DIVISION LINES AND EASEMENTS ABANDONED AND VACATED RESPECTIVELY.
 6. PERPETUAL FIVE FOOT WALL MAINTENANCE EASEMENTS AS SHOWN ON THE INTERIOR LOT LINES WITHIN THE SUBDIVISION, SHALL ONLY APPLY TO THOSE LOTS ON WHICH A SINGLE FAMILY DETACHED DWELLING ON THE ADJOINING LOT IS CONSTRUCTED FIVE FEET OR LESS FROM THE PROPERTY LINE. SHOULD THE SINGLE FAMILY DETACHED DWELLING ON THE ADJOINING LOT BE MORE THAN FIVE FEET FROM THE APPLICABLE PROPERTY LINE, THE PERPETUAL FIVE FOOT WALL MAINTENANCE EASEMENT ON THE ADJOINING LOT SHALL NOT BE APPLICABLE AND NO SUCH EASEMENT SHALL BE DEEMED TO EXIST.
 7. THE DEVELOPER OF THIS SUBDIVISION SHALL ESTABLISH A HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE MAINTENANCE RESPONSIBILITY OF THE STORMWATER MANAGEMENT AREA AND UTILITY LOT AS SHOWN HEREON.
 8. PRESSURE REDUCING VALVES WILL BE REQUIRED ON ALL LOTS, CUSTOMER SIDE.
 9. ELEVATION CERTIFICATES WILL BE REQUIRED FOR ALL LOTS THAT HAVE A MINIMUM FLOOR ELEVATION.
 10. SEE SHEET 1 OF 4 FOR CURVE TABLE.
 11. INGRESS/EGRESS EASEMENT PROVIDED FOR ROANOKE CO. TAX PARCELS #40.13-01-01.1 & #40.13-01-01.2 WITH AREA WITHIN SAID TRIANGLE TO BE ADDED TO AND CONVEYED WITH ROANOKE CO. #40.13-01-01.1 AT A FUTURE DATE.
 12. SEE CONSENT TO DEDICATION BETWEEN RONALD L. LEWIS, SR. et al AND STRAUSS CONSTRUCTION CORPORATION RECORDED IN INSTRUMENT #200318827.

MINIMUM FLOOR ELEVATIONS FOR 100 YEAR FLOOD

LOT	ELEVATION
LOT 14	1073.00
LOT 15	1071.00
LOT 20	1083.00

VARIABLE WIDTH WATERLINE EASEMENT

COR.	BEARING	DIST.
22-SS	S 02°11'39" W	0.60' (TIE)
SS-TT	S 10°10'26" E	12.56' CH.
TT-UU	S 00°33'57" E	03.60' CH.
UU-VV	S 17°03'50" E	54.20'
VV-WW	S 02°03'50" E	125.90'
WW-22E	S 30°26'35" E	11.44' (TIE)

VARIABLE WIDTH DRAINAGE EASEMENT

COR.	BEARING	DIST.
7D-7E	S 31°00'00" W	10.52'
7E-7F	S 23°32'22" W	109.59' CH.
7F-7G	S 60°18'57" W	41.86' CH.
7G-7H	N 73°42'40" W	20.00' CH.
7H-A	N 18°01'31" E	6.61'
A-B	S 63°35'59" E	13.77'
B-C	N 47°08'45" E	55.50'
C-D	N 35°33'27" W	18.60'
D-E	N 54°26'33" E	15.00'
E-F	S 35°33'27" E	11.02'
F-G	N 26°07'26" E	72.69' CH.
G-H	N 31°00'00" E	10.52'
H-7D	S 59°00'00" E	5.00'

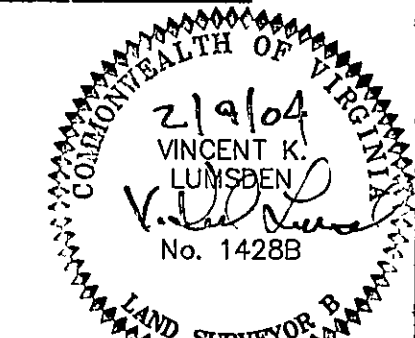
TRACT 1A1A
TAX #40.13-01-1.1
PROPERTY OF
RONALD L. LEWIS, SR. & LANA J. LEWIS
D.B. 1657, PG. 863

BENCHMARK
A.E.P. POLE
#207-2002

EXISTING INGRESS-EGRESS EA
D.B. 1657, PG. 863

INGRESS-EGRESS
EASEMENT
(SEE NOTE #11)
(SHEET 3 OF 4)

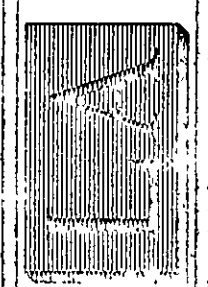
PLAT SHOWING
SECTION No. 1
"WEDGWOOD"
PROPERTY OF
STRAUSS DEVELOPMENT CORPORATION & STRAUSS CONSTRUCTION CORPORATION
SITUATED ALONG EAST RURITAN ROAD
HOLLINS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA



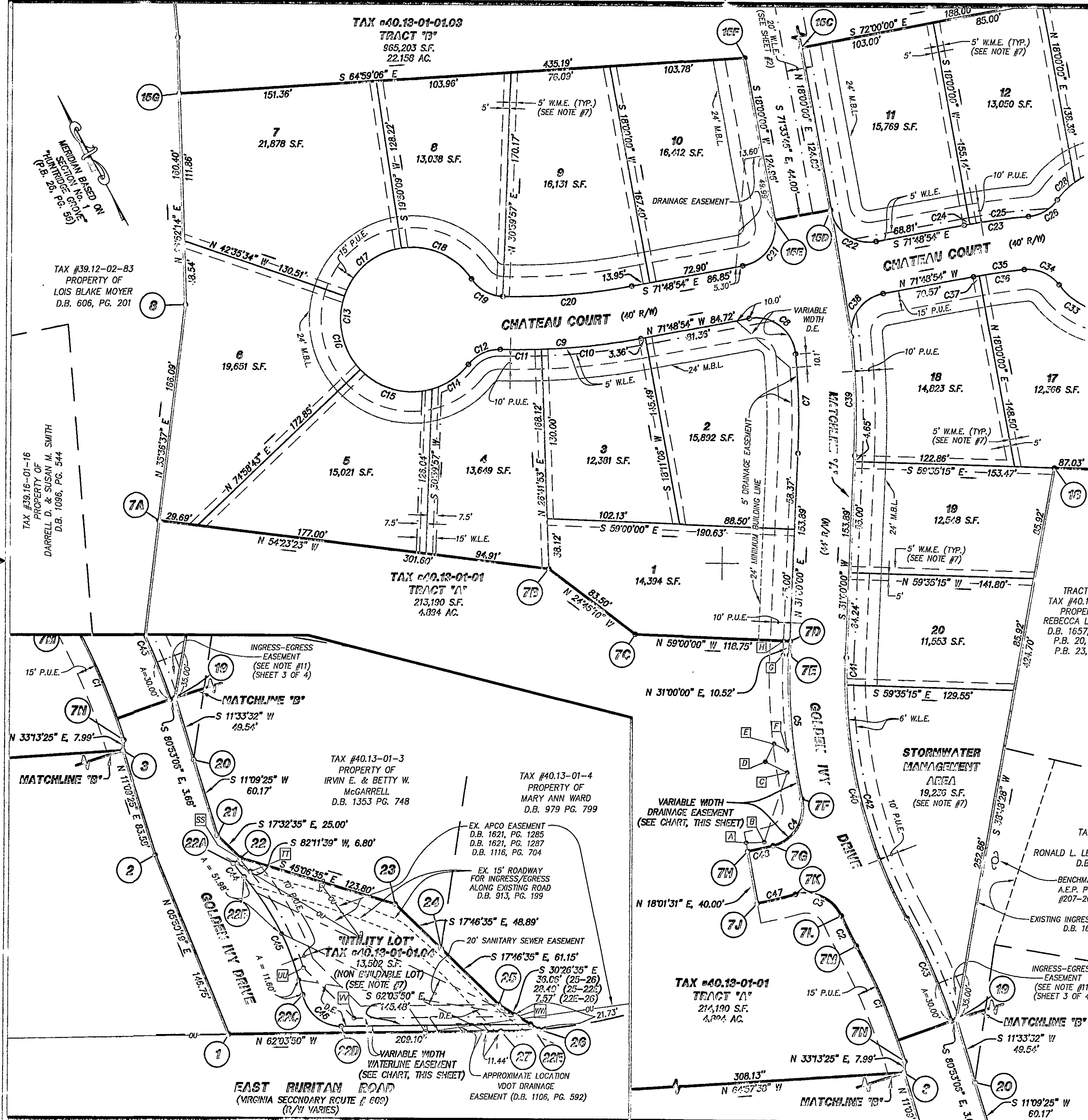
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ROANOKE, VIRGINIA 24018

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



DATE: 09 FEBRUARY 2004
COMM. NO.: 02-389
CADD FILE: F:\2002\02389\SUR\02389R03.dwg
SHEET 3 OF 4



TAX #40.13-01-01.03
TRACT "B"
865,203 S.F.
22.158 AC.

TAX #39.12-02-83
PROPERTY OF
LOIS BLAKE MOYER
D.B. 606, PG. 201

TAX #39.16-01-16
PROPERTY OF
DARRELL D. & SUSAN M. SMITH
D.B. 1096, PG. 544

TAX #40.13-01-01
TRACT "A"
213,190 S.F.
4.894 AC.

TAX #40.13-01-3
PROPERTY OF
IRVIN E. & BETTY W.
McGARRELL
D.B. 1353 PG. 748

TAX #40.13-01-4
PROPERTY OF
MARY ANN WARD
D.B. 979 PG. 799

EX. APCO EASEMENT
D.B. 1621, PG. 1285
D.B. 1621, PG. 1287
D.B. 1116, PG. 704

EX. 15' ROADWAY
FOR INGRESS/EGRESS
ALONG EXISTING ROAD
D.B. 913, PG. 199

TAX #40.13-01-01
TRACT "A"
214,190 S.F.
4.894 AC.

EAST RURITAN ROAD
(VIRGINIA SECONDARY ROUTE # 600)
(R/W VARIES)

APPROXIMATE LOCATION
VDOT DRAINAGE
EASEMENT (D.B. 1106, PG. 592)