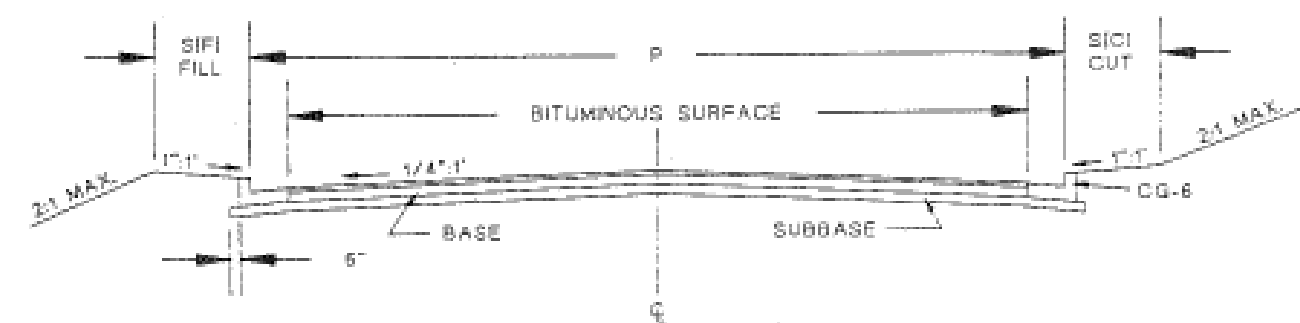




TYPICAL ROAD SECTION
CATEGORY I, II & III

TYPICAL STREET SECTION	DESIGN SPEED (MPH)	MAX. GRADE	MIN. C.I. RADIUS	P	SIFI (4)	SIFI (6)	R/W WIDTH	P/MT CAT.
I. UP TO 250 VPD	25	16%	110'	30'	4' (6)	4'	50'	I
II. 251 TO 400 VPD (S)	25	12%	190'	36'	4' (6)	4'	50'	II
III. 401 TO 1000 VPD	25	12%	260'	36'	4' (6)	4'	50'	II, IV

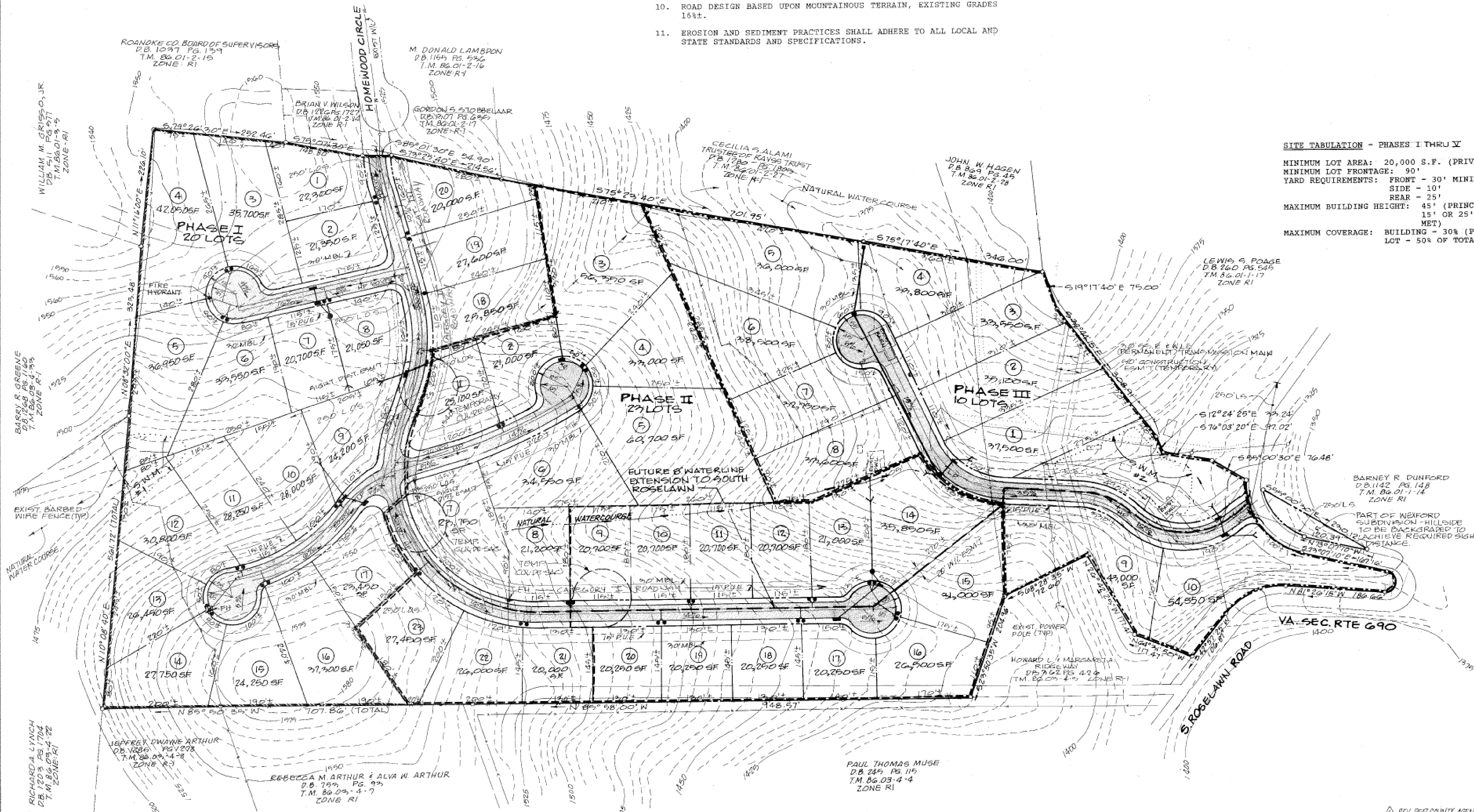
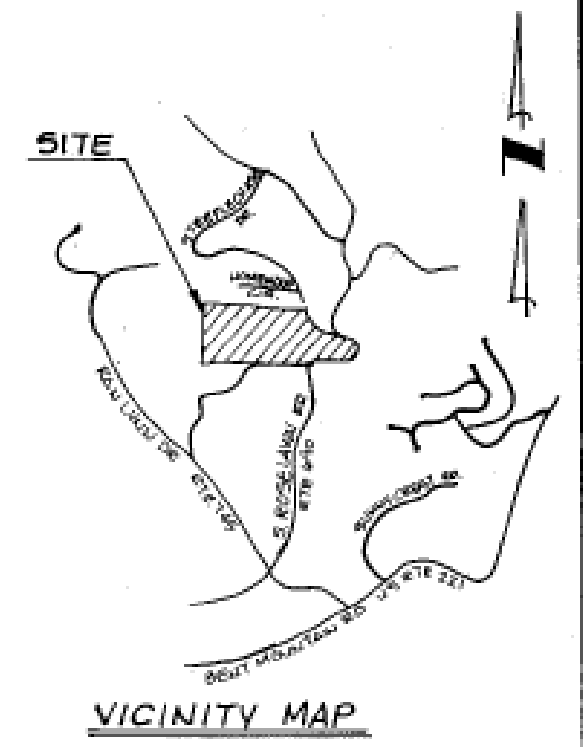
* NOTE: WITH APPROVAL, THESE STANDARDS CAN BE REDUCED TO CATEGORY I, BUT THE PAVEMENT DESIGN SHALL REMAIN A CATEGORY II. (CRITERIA: PROOF OF FIBER GENERATION).

PAVEMENT CATEGORY I - 2" 5-M-24 SURFACE
6" 21-B BASE
SUBBASE COMPACTED TO 95% DENSITY.

PAVEMENT CATEGORY II - 2" 5-M-24 SURFACE
6" 21-B BASE
SUBBASE COMPACTED TO 95% DENSITY.

NOTES

- THIS PROPERTY IS LOCATED ON TAX MAP NUMBER 86.03-4-6 AND IS LOCATED OUTSIDE THE URBAN SERVICE DISTRICT. TOTAL AREA = 42.11 AC.
- CURRENT PROPERTY ZONING R-1 (TO REMAIN).
- BOUNDARY FROM DEEDS OF RECORD. FIELD SURVEYED BOUNDARY TO BE RUN PRIOR TO FINAL PLAN SUBMISSION.
- TOPOGRAPHIC INFORMATION TAKEN FROM USGS MAPS. FIELD RUN TOPO TO BE SUBMITTED WITH FINAL PLAN.
- PHASES I THRU V SHALL BE SERVED BY PUBLIC WATER. SEE AVAILABILITY LETTER #93-209.
- REFER TO PLANIMETRIC MAP NN-6 FOR WATER LOCATION.
- SEPTIC AND DRAINFIELD SYSTEMS REQUIRED FOR EACH LOT. FIELD VERIFIED LOCATIONS TO BE PROVIDED WITH FINAL PLAN SUBMISSION AND SOILS REPORT SUBMITTED TO THE ROANOKE COUNTY HEALTH DEPARTMENT.
- FINAL STORMWATER FACILITY DETAILS AND COMPUTATIONS SHALL ACCOMPANY FINAL PLAN SUBMISSION.
- INTERSECTION SIGHT DISTANCES SHOWN WERE FIELD VERIFIED ON-SITE NOVEMBER 5, 1993.
- ROAD DESIGN BASED UPON MOUNTAINOUS TERRAIN, EXISTING GRADES 16%±.
- EROSION AND SEDIMENT PRACTICES SHALL ADHERE TO ALL LOCAL AND STATE STANDARDS AND SPECIFICATIONS.



SITE TABULATION - PHASES I THRU V

MINIMUM LOT AREA: 20,000 S.F. (PRIVATE SEWAGE, PUBLIC WATER)
MINIMUM LOT FRONTAGE: 90'
YARD REQUIREMENTS: FRONT - 30' MINIMUM BUILDING LINE
SIDE - 10'
REAR - 25'
MAXIMUM BUILDING HEIGHT: 45' (PRINCIPAL STRUCTURE)
15' OR 25' (IF PRINCIPAL SETBACKS ARE MET)
MAXIMUM COVERAGE: BUILDING - 30% (PRINCIPAL); 75% (ACCESSORY)
LOT - 50% OF TOTAL AREA

BALZER
AND ASSOCIATES, INC.
BVINE
REFLECTING TOMORROW
• PLANNERS • ARCHITECTS
• ENGINEERS • SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 703/772-9580
FAX: 703/772-8050

501 Branchway Road
Suite 100
Richmond, Virginia 23236
Phone: 804/794-0571
FAX: 804/794-2635

1514 East Parham Road
Richmond, Virginia 23228
Phone: 804/762-6046
FAX: 804/264-3037

AS-BUILT
PRELIMINARY PLAN
WEXFORD SUBDIVISION
ROANOKE COUNTY, VIRGINIA

DRAWN BY DRB
DESIGNED BY JDE
CHECKED BY JFK/JDE
DATE: OCT. 13, 1993

REVISIONS
REV. 21, 1994
REV. 11, 98

SCALE: 1"=100'
SHEET NO.

8 OF 8
RC-5831
JOB NO.
93199-1

THIS SHEET FOR INFORMATION ONLY
NOT FOR CONSTRUCTION