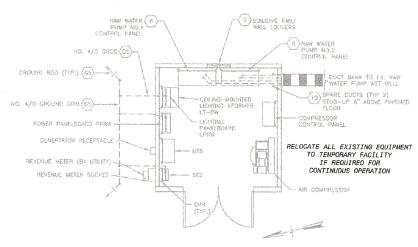


CEILING MOUNTED LIGHTING XFORMER LT-RW-RAW WATER PUMP STATION ELECTRICAL BUILDING REFER TO DRAWING A-5 FOR ADDITIONAL LAYOUT DETAILS AIR BURST SCOUR SYSTEM CONTROL PANEL EMR (TYP.) -TANK 30" Ø ADJUST ACCORDINGLY LICHTING PANELBOARD LPRW -RELOCATE ALL EXISTING EQUIPMEN TO TEMPORARY FACILITY IF REQUIRED FOR REVENUE METER (BY UTILITY) . CONTINUOUS OPERATION REVENUE METER SOCKET - 1" STAINLESS STEEL AIR PIPING RAW WATER ELECTRICAL BUILDING LAYOUT SCALE: 1/2"=1'-0"

# RAW WATER ELECTRICAL BUILDING SITE PLAN SCALE: 1"=10'-0"

- 1. AFTER NEW FACILITIES ARE SUBSTANTIALLY COMPLETE, DEMOLISH EXISTING ELECTRICAL BUILDING.
- EXISTING FACILITIES MUST REMAIN IN SERVICE THROUGH CONSTRUCTION, WATER MUST CONTINUE TO FLOW TO HIGH POINT.
- 3. TEMPORARY SHUTDOWNS WILL BE LIMITED TO 8 HOURS OR LESS IN DURATION, 7 DAYS ADVANCE NOTICE REQUIRED AND ONLY ONE SHUTDOWN PER WEEK WILL BE ALLOWED.
- 4. THE OWNER RESERVES THE RIGHT TO KEEP ANY OF THE REMOVED EQUIPMENT.
- AFTER DEMOLITION, CONTRACTOR TO RETURN SURROUNDING GRADE TO SIMILAR CONDITION AS SURROUNDING AREA.



RAW WATER PUMP STATION POWER & CONTROL PLAN SCALE: 1/4" = 1'-0"

XREF1 XREF2 XREF3

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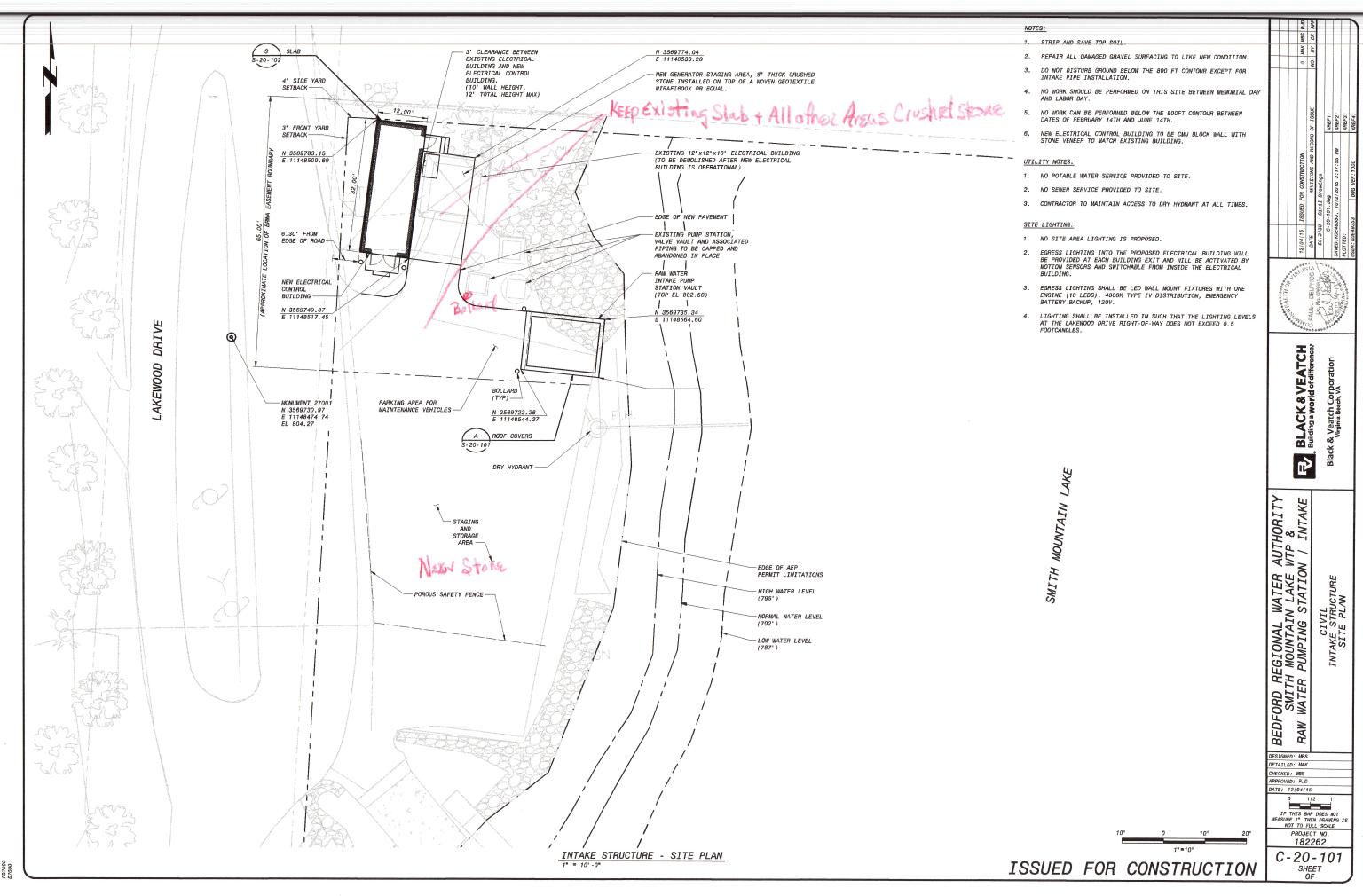
ORD REGIONAL WATER AUTHORITY SMITH MOUNTAIN LAKE WTP & WATER PUMPING STATION / INTAKE

WATER

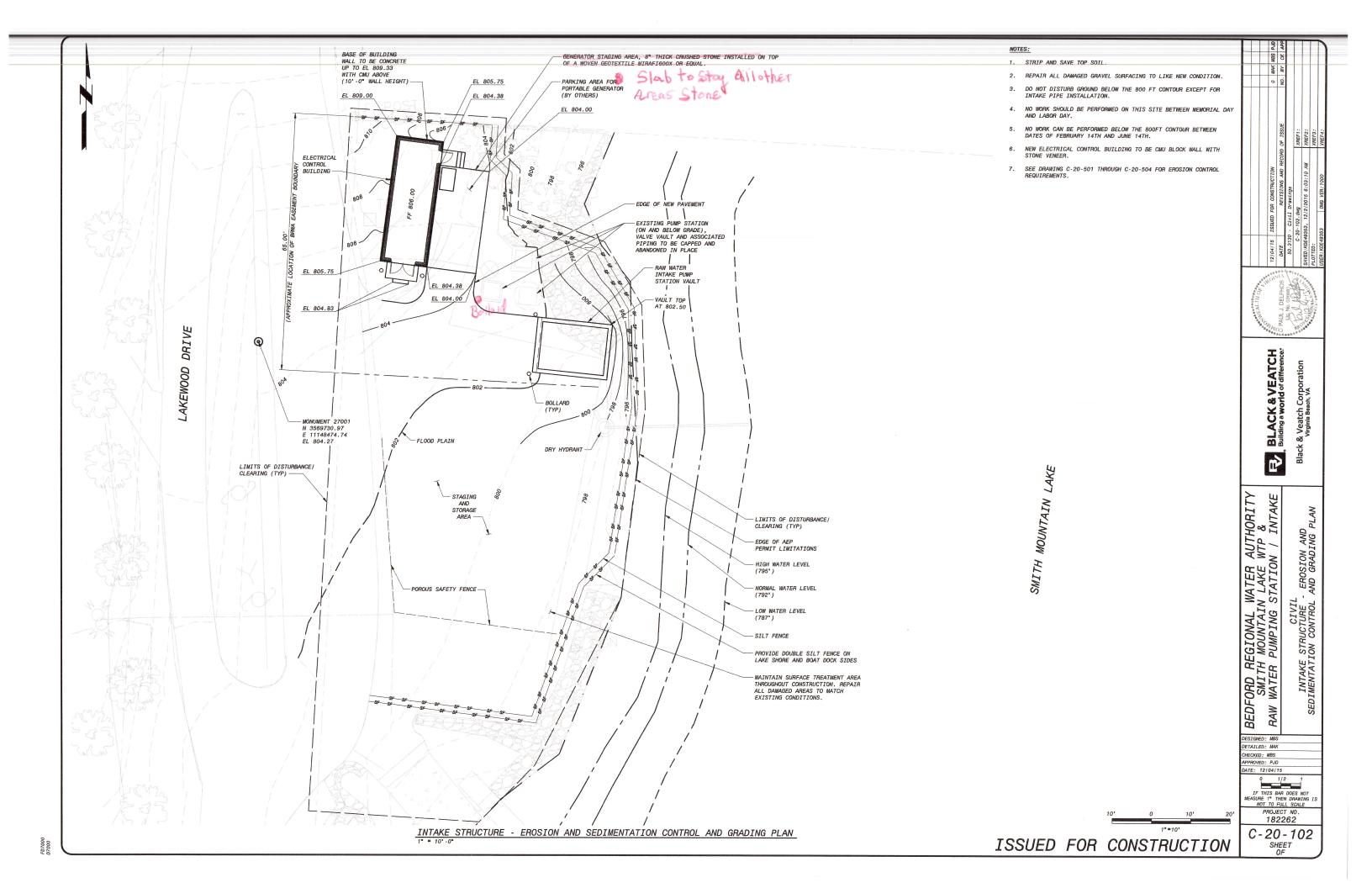
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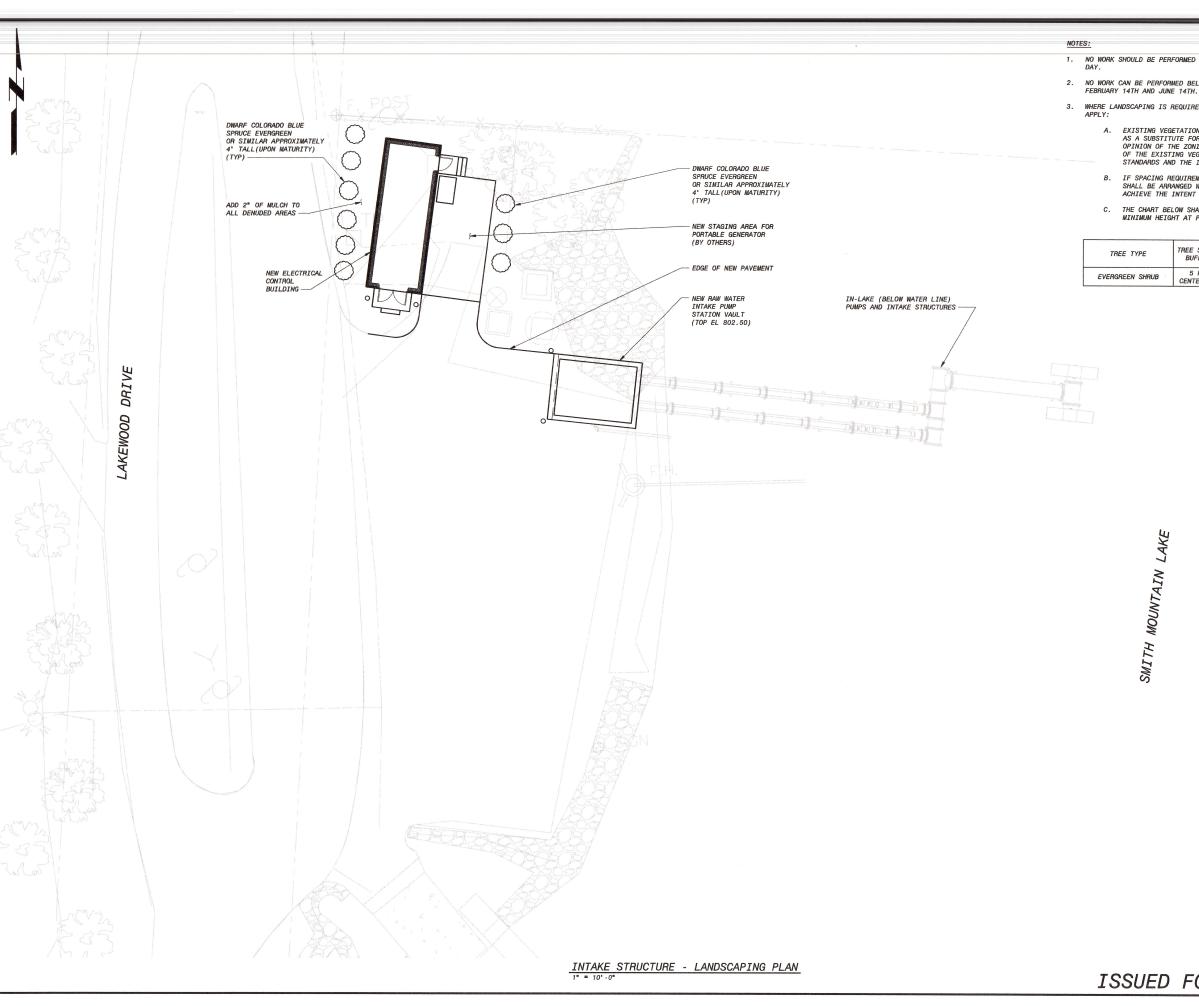
IF THIS BAR DOES NOT ASURE 1° THEN DRAWING IS NOT TO FULL SCALE PROJECT NO. 182262

D-20-001 SHEET OF



50.707





1. NO WORK SHOULD BE PERFORMED ON THIS SITE BETWEEN MEMORIAL DAY AND LABOR

NO WORK CAN BE PERFORMED BELOW THE 800FT CONTOUR BETWEEN DATES OF FEBRUARY 14TH AND JUNE 14TH.

3. WHERE LANDSCAPING IS REQUIRED BY THIS ORDINANCE, THE FOLLOWING SHAL APPLY:

A. EXISTING VEGETATION WITHIN BUFFER YARDS SHALL BE CONSIDERED AS A SUBSTITUTE FOR OTHERWISE REQUIRED LANDSCAPING IF IN THE OPINION OF THE ZONING ADMINSTRATOR THE TYPE, SIZE AND DENSITY OF THE EXISTING VEGETATION COMPLIES WITH THE FOLLOWING STANDARDS AND THE INTENT OF THIS SECTION.

B. IF SPACING REQUIREMENTS ARE NOT SPECIFIED, REQUIRED LANDSCAPING SHALL BE ARRANGED WITHIN A BUFFER YARD AND/OR STREET YARD TO ACHIEVE THE INTENT OF THIS SECTION.

C. THE CHART BELOW SHALL BE USED TO DETERMINE TREE SPACING, THE MINIMUM HEIGHT AT PLANTING AND THE ULTIMATE HEIGHT OF MATURITY.

TREE TYPE	TREE SPACING IN BUFFER YARD	MINIMUM HEIGHT AT PLANTING (ABOVE GRADE)	ULTIMATE HEIGHT AT MATURITY (ABOVE GRADE)
EVERGREEN SHRUB	5 FEET ON CENTER OR LESS	1.5 FEET	6 FEET

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Black & Veatch Corporation Virginia Beach, VA

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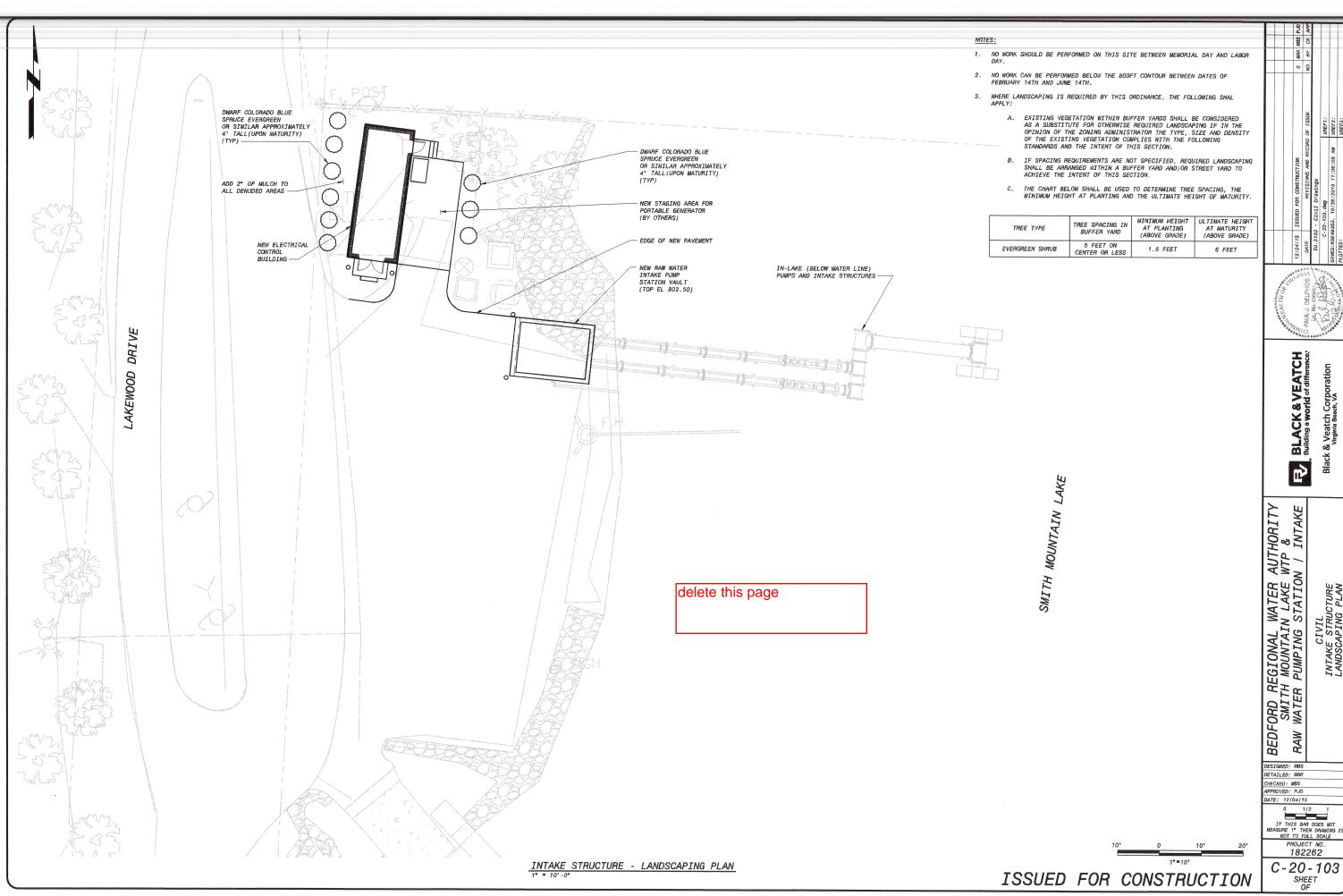
BEDFORD REGIONAL WATER AUTHORITY SMITH MOUNTAIN LAKE WTP & RAW WATER PUMPING STATION / INTAKE

DESIGNED: MBS ETAILED: MAK CHECKED: MBS PPROVED: PJD ATE: 12/04/15

IF THIS BAR DOES NOT FASURE 1" THEN DRAWING NOT TO FULL SCALE PROJECT NO. 182262

C-20-103 SHEET OF

ISSUED FOR CONSTRUCTION



C-20-103

XREF1 XREF2 XREF3

Black & Veatch Corporation



# Bedford County

DEPARTMENT OF COMMUNITY DEVELOPMENT

August 7, 2014

Bedford Regional Water Authority ATTN: Rhonda English 1723 Falling Creek Road Bedford, VA 24523

Subject: Special Use Permit Application #SU150001: Bedford Regional Water Authority

Dear Ms. English:

Enclosed is a copy of the staff report for Special Use Permit Application #5U150001 that will be heard at the Planning Commission Public Hearing on Tuesday, August 19, 2014, at 7:00 p.m. The applicant or their representative must attend this public hearing during which you will be asked to describe and answer any questions about the project. If you will need more than the silotted 20 minutes for your presentation, please let me know prior to the Planning

If you have any questions concerning the process, please feel free to contact me at (540) 586-

Enclosure

Cc: Stevie Steele, CHA Consulting

RECEIVED AUG 1 2 2014 CHA Consulting, Inc.

122 EAST MAIN STREET, SUITE G-03, SEDFORD, VA 24523 (540) 586-7616, FAX 586-2059

However, general standard #7 gives the governing body the ability to modify the buffering However, general scenarior or gives the governing body the ability to modify the observing requirement as part of the special use permit approval. Given the applicants small lease area on the property with the High Point Property Owners Association, they are unable to meet the Type D screening requirement. The applicant is requesting to plant evergreen shrubs (similar to what is on the site currently) in order to create partial screening.

Chapter 7- Utilities in the Bedford County 2025 Comprehensive Plan contains goals objectives, and strategies that relate to his special use permit request. The goal of the Chapter states that "quality public utility systems and services that support the County's planned land use" are needed. Existing facilities, such as the water treatment plant at 5 mith Mountain Lake, have given the County the ability to provide a dependable water source to portions of the County that have a history of poor or limited groundwater. The applicants request is consistent with the following objectives:

- 7.1 Public water and sewer facilities located in areas of high population density/growth areas
- 7.4 Adequate availability of drinking water source:

The BRWA had special review projects #SRP140001 (High Point Water Plant) and The British and Special leview projects worked by the Planning Commission in association with this application on January 23, 2014. The Planning Commission unanimously approved both special review projects by determining that they were in substantial accordance with the provisions of the Comprehensive Plan.

This project has been reviewed by County agencies the following information reflects their

No impact to the environment is expected with this request. Erosion & sediment control measures and stormwater management regulations will apply to the development of the

Project will have no impact to the State maintained right-of-way.

The property is the site of the water intake pump station for the Bedford Regional Water Authority. The facility expansion will increase water supply due to alleviate increasing demands.

### MEMORANDUM

Planning Commissio

Jordan Mitchell, Planner

DATE July 25, 2014

SUBJECT: Special Use Permit #SU150001: Bedford Regional Water Authority

The Bedford Regional Water Authority (BRWA) is requesting a special use permit to expand an existing "Utility Services, Major" use above 50 percent. The project is located in Election District #7

APPLICANT/AUTHORIZED AGENT

he applicant is the Bedford Regional Water Authority, 1723 Falling Creek Road, Bedford. Virginia, 24523. The authorized agent/contact person for the applicant is Rhonda English

The property is owned by the High Point Property Owners Association, 308 Lakewood Drive, Moneta, Virginia, 24121.

The engineer for the applicant is Stevie Steele, CHA Consulting, 1901 innovation Drive,

The subject parcel is identified as Tax Map 232AZ-3-30A and is located at 308 Lakewood

### PERMIT REQUEST

The applicant requests approval of a special use permit and does not propose to change the zoning of any parcels. The applicant desires to replace their existing 100 square foot water intake/pump building with a 1,100 square foot water intake/pump building. The existing facility is frequently exceeding 80% daily capacity and an expanded/larger facility will allow the BRWA to continue providing water to the surrounding service areas now and in the

# **Public Facilities**

No impact on fire/rescue services, schools or libraries will occur with this request.

The proposed building will be visible from adjoining roads and properties. There is a slight vagetative buffer along the northern property line that will help aid in the screening of the water intake pump station. The applicant will work with the High Point Home Owners association to design the building to be as aesthetically pleasing to the community as

In accordance with Section 30-19-3 (C) of the Zoning Ordinance, the Board of Supervisors may attach (and Planning Commission may recommend) any conditions necessary to ensure the proposal meets the specific and general standards for the proposed use. The following

- 1. Section 30-83-12A General Standards shall apply in perpetuity until the "Utility
- 2. Section 30-83-12(A7) has been modified with the approval of this special use permit to require the applicant to plant evergreen shrubs in place of a Type D buffer.
- 3. The exterior appearance of the 1,100 square foot water intake pump station shall be consistent with the existing structures appearance or the applicant shall seek approval from the High Point Property Owners Association should they wish to alter the exterior appearance.
- 4. The site shall be developed in conformance with the concept plan dated May 30. 2014 as prepared by Black & Veech Corporation, except as modified by the final site

# **ATTACHMENTS**

- i. Location Map
- 2. Zoning Map
- 3. Aeriał Map (2011) 4. Special Use Permit Application
- 5. Concept Plan
- 6. Section 30-83-12A, "Utility Services, Major", General Standards
- 7. Section 30-83-12A Comments from Applicant
- 8. Section 30-41, R-1 Low Density Residential District
- 9. Variance Application #VP140002 Approval Lette

# Zoning/Land Use Compatibility

The property is currently developed serving as a community lot for the High Point Property Owners Association and as a water intake/treatment site for the BRWA. The property is zoned R-1 (Low-Density Residential) as are adjoining parcels on all sides. The surrounding properties are all developed with single family residences.

Generally, an "Utility Services, Major" use may be compatible with the R-1 zoning district and surrounding area given that a special use permit with applicable general standards (\$\*) is required to establish the use in the zoning district. In addition to general standards, conditions can be placed on a special use permit to mitigate adverse impacts to aid the use's compatibility with the surrounding area.

The existing use is classified as "Utility Services, Major" which is permitted in the R-1 zoning district with the approval of a special use permit with general use standards (S\*). The use definition from Article II (Definitions) reads:

UTILITY SERVICES, MAJOR - Services of a regional nature which normally entail the construction of new buildings or structures such as generating plants and sources, electrical switching facilities and stations or substations, community waste water treatment plants, and similar facilities. Included in this definition are also electric, gas, and other utility transmission lines of a regional nature which are not otherwise ewed and approved by the Virginia State Cornoration Commiss

Section 30-83-12 in Article IV of the Zoning Ordinance contains the use and design standards for a "Utility Services, Major" use. The applicant obtained approval through a Variance application (VP140002) to reduce the distance that the use can be from an existing residence. Additionally, the applicant was approved for a reduction in the front and side yard setback requirements and an increase in the maximum allowable total lot coverage in the R-1 zoning district with the approval of VP140002. Staff has attached the approval let for Variance application #VP140002 that is associated with this special use permit request.

The applicant has provided an answer of compliance for all general standards listed in Section 30-83-12 in the Zoning Ordinance with the exception of #7 (requiring the applicant to screen/buffer the use with Type D screening). The Type D screening requirement is as

<b>Buffer Yard Category</b>	Structural Buffer Option	Vegetative Buffer Option
D	- 8' screen	- 75' buffer yard
	- 30' buffer yard	Large deciduous and large evergreen
	- Large deciduous and large	trees, small evergreen trees, and one
	evergreen trees	row of evergreen shrubs



# Bedford County

DEPARTMENT OF COMMUNITY DEVELOPMENT June 25, 2014

Bedford Regional Water Authority ATTN: Rhonda English 1723 Falling Creek Road Bedford, VA 24523

Subject: Variance Application VP14000

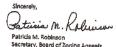
On June 24, 2014, the Bedford County Board of Zoning Appeals reviewed the above referenced verlance application for property identified as Tax Map Number 23242-3-30A located at 308 Lakewood Drive in Huddleston, Virginia. This application requested the following verlances:

- Section 30-42-3(81), Minimum Setback Requirements (Front Yard) reduce the minimum required 30 foot principal structure setback by 27 feet (3 foot minimum principal structure)
- Section 30-42-3(82), Minimum Setback Requirements (Side Yard) reduce the minimum required 10 foot principal structure setback by 6 feet (4 foot minimum principal structure setback).
- Section 30-42-3(D2), Maximum Coverage (Lot Coverage) increase the 50% maximum allowable total for coverage by 97% (67% maximum allowable for coverage).
- Section 30-83-12(A4), Utility Services, Major use decrease the 100 foot minimum distance between a major utility and a residence to 45 feet (from the residence to the north) and 22 feet (from the residence to the south).

# The Board ruled on your variance request as follows:

The variances requested from Sections 30-42-3(B1), 30-42-3(B2), 30-42-3(D2), and 50-83-12(A4) was approved by the Board as requested (no modifications) by a vote of 6-0.

In accordance with Section 80-24-6 (A) of the Bedford County Zohing Ordinance, "any person jointly or separately aggrieved by any decision of the Board of Zoning Appeals, or any texpayer or any officer, department, board or bureau of the County may present to the directic court of the county a petition specifying the grounds on which aggreeved. This pertion must be falled within 30 devye of the Board of Zoning Appeals' decision." If you have any further questions, please contact me at (540) 586-7616 ext. 1244 or problemson@selforfocountrys.cov.



Cc: High Point Property Owners Association

122 EAST MAIN STREET, SUITE G-03, BEDFORD, VA 24523 (540) 586-7616, FAX 586-2059

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XREF. XREF.

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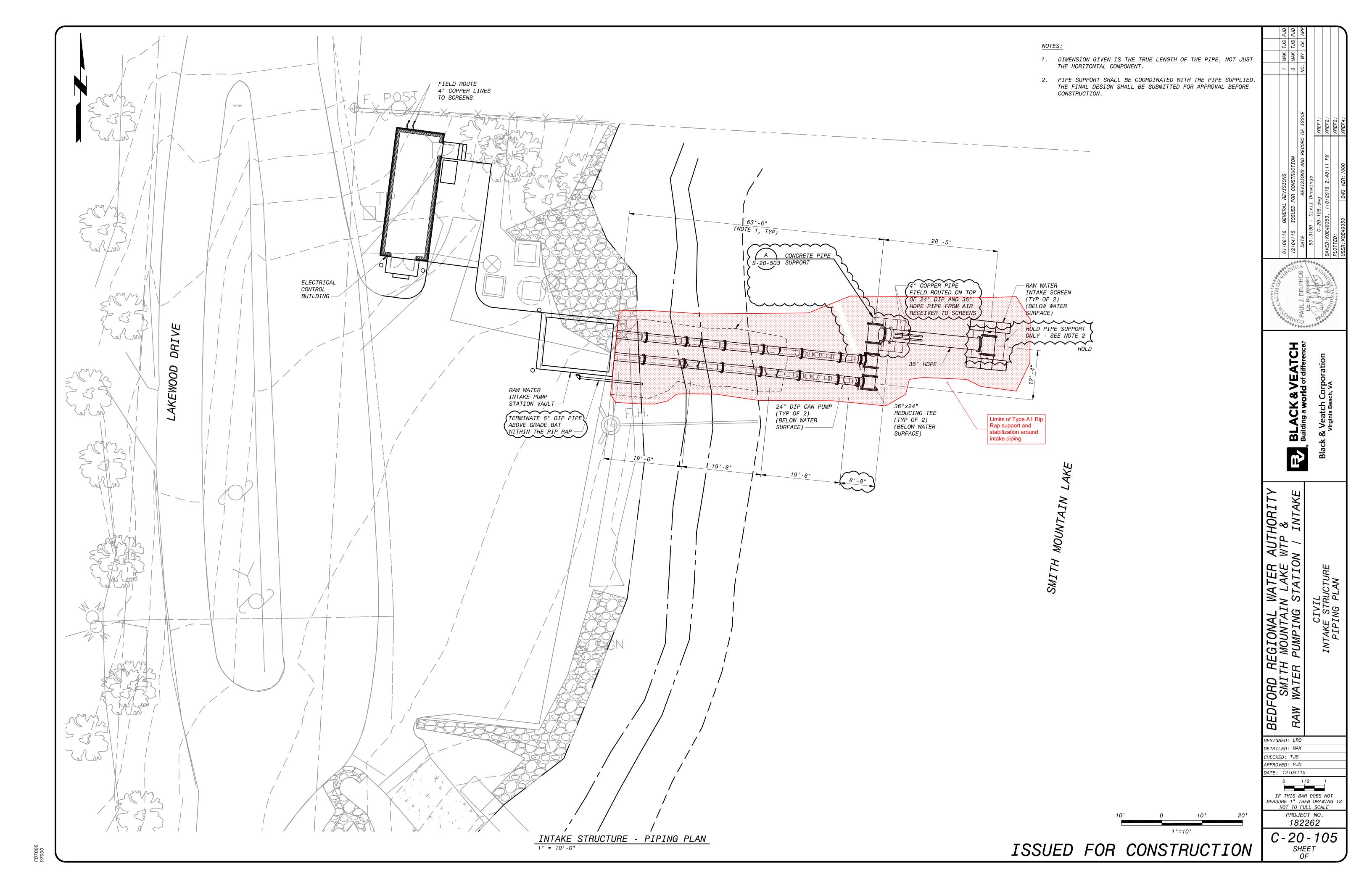
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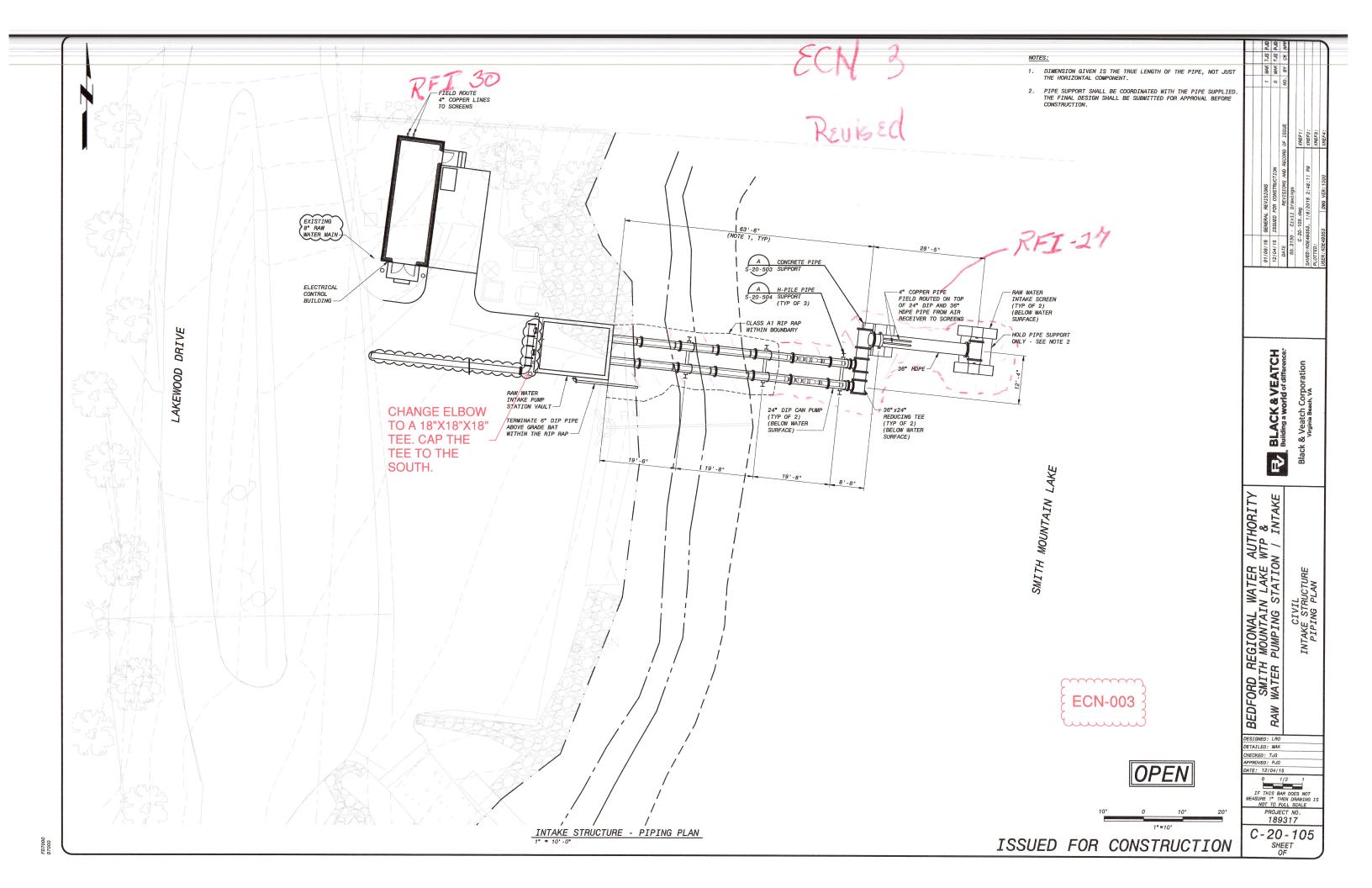
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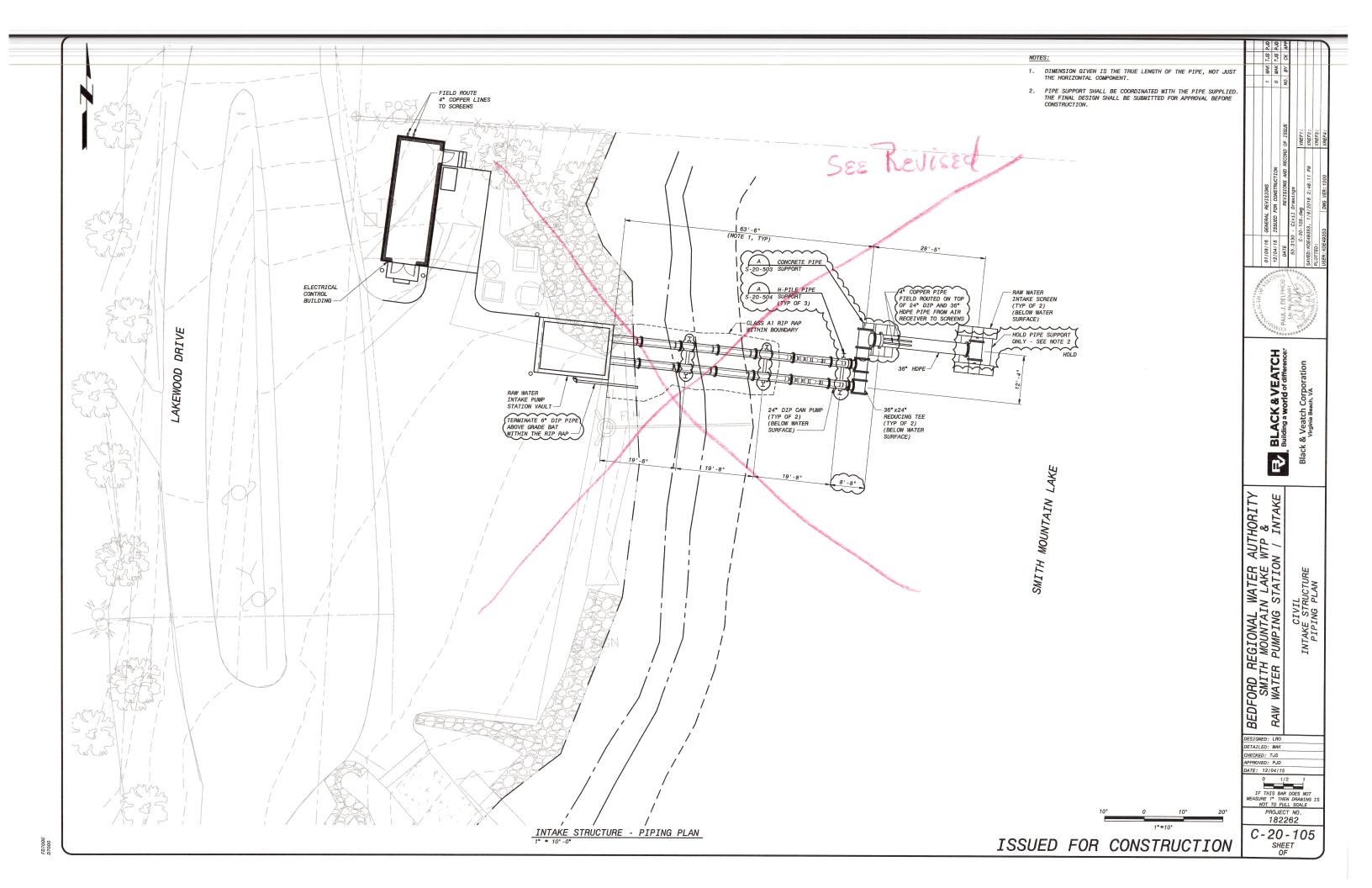
DATE: 12/04/15

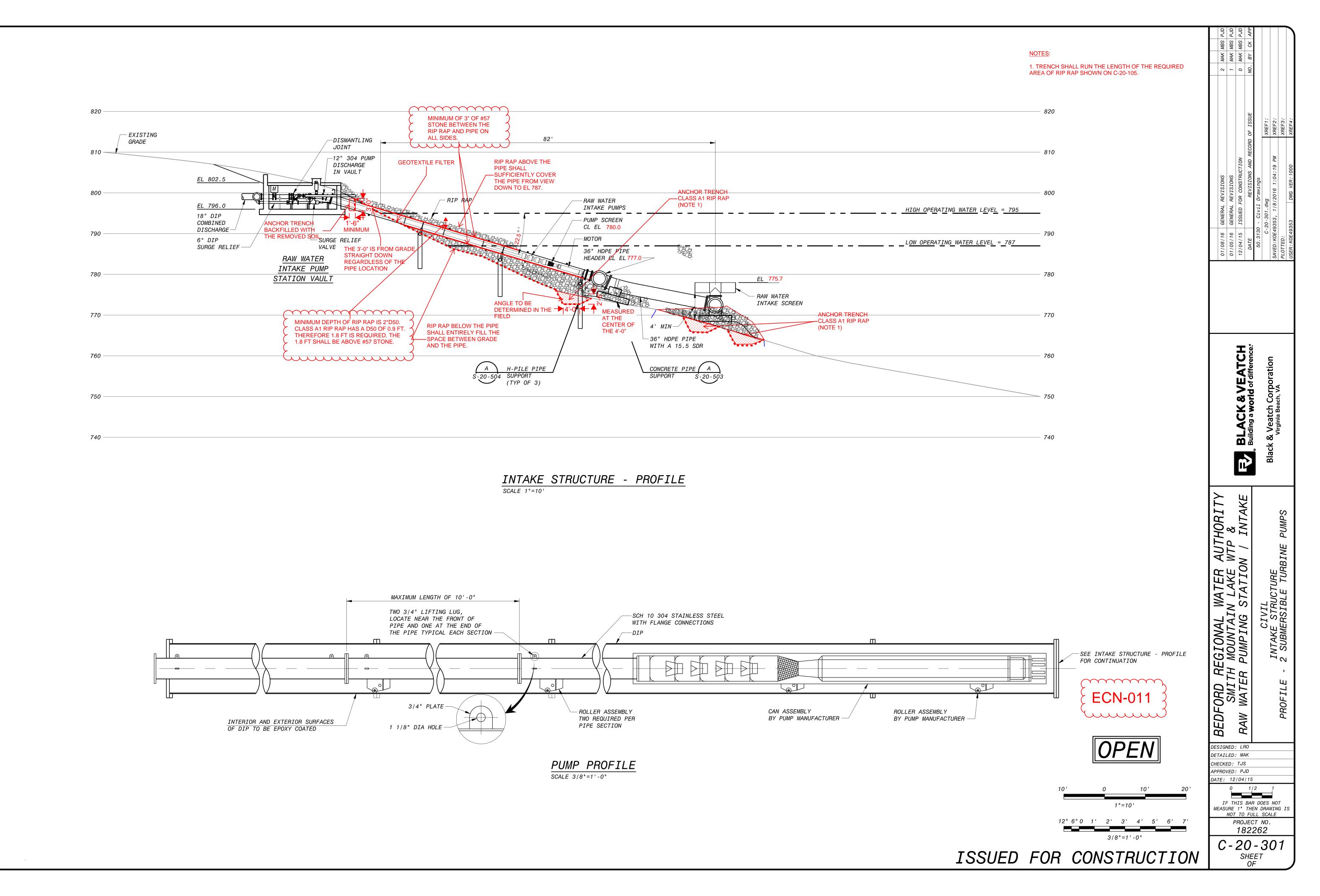
ASURE 1" THEN DRAWING I NOT TO FULL SCALE PROJECT NO 182262

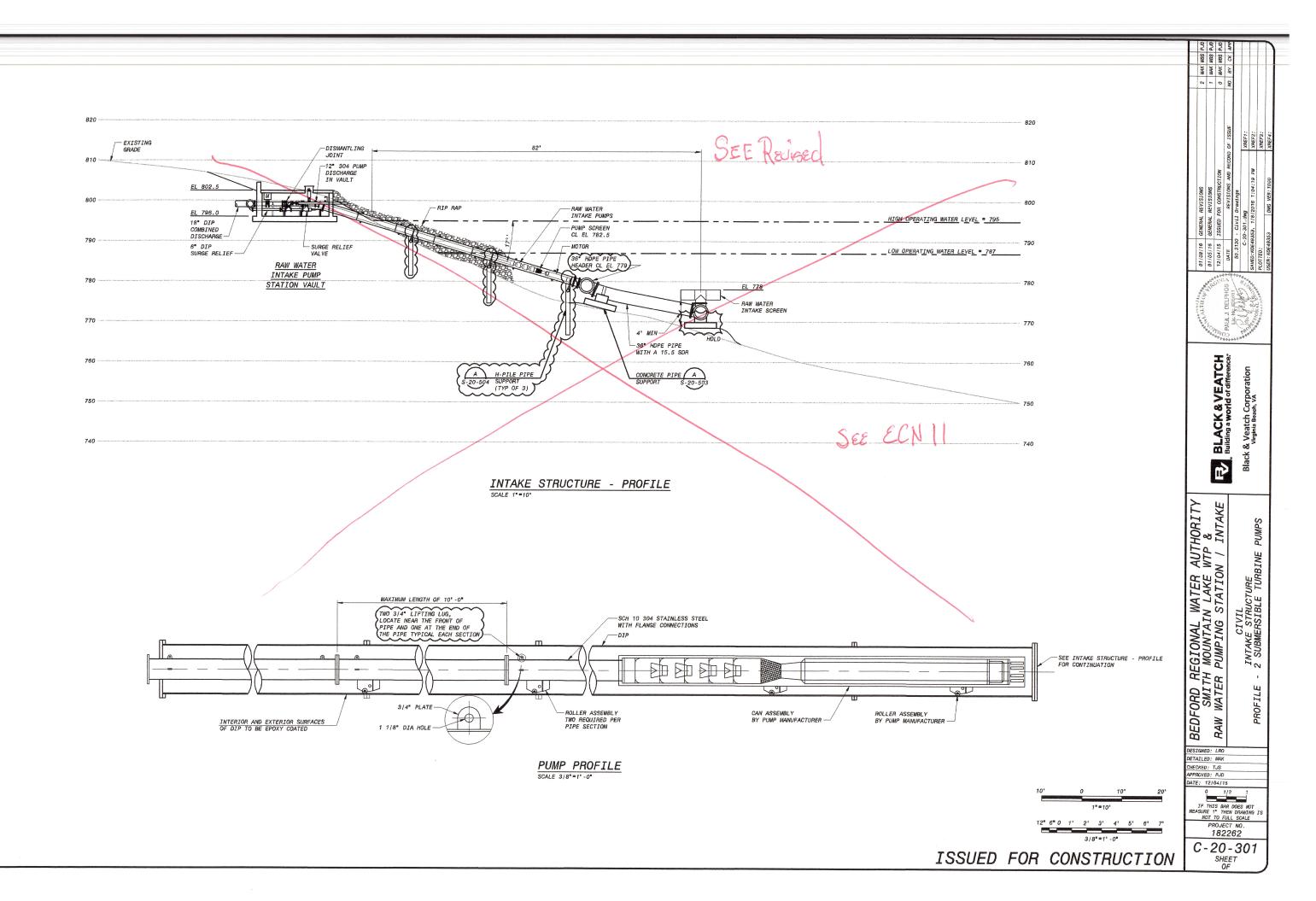
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D7000

### SMITH MOUNTAIN LAKE WATER SUPPLY INTAKE AND PUMP STATION

## EROSION AND SEDIMENT CONTROL NARRATIVE

### PROJECT DESCRIPTION

THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT A NEW WATER SUPPLY INTAKE IMMEDIATELY ADJACENT TO THE EXISTING INTAKE AT 308 LAKEWOOD DRIVE, HUDDLESTON, VA 24104. THE PROPERTY IS OWNED BY THE HIGH POINT PROPERTY OWNERS ASSOCIATION, AND THEY LEASE A PORTION OF THE SITE TO THE BEDFORD REGIONAL WATER AUTHORITY FOR THE WATER INTAKE AND PUMPING STATION. THE PROJECT INCLUDES A NEW RAW WATER VAULT AND ELECTRICAL BUILDING ON SHORE AND TWO INTAKE SCREENS AND TWO RAW WATER PUMP CANS LOCATED IN THE LAKE. THE TOTAL DISTURBED AREA FOR THE PROJECT IS 0.1 ACRES.

THE PROPERTY ABUTS SMITH MOUNTAIN LAKE AND INCLUDES A PAVED PARKING AREA, DOCK ACCESS, THE EXISTING RAW WATER SUPPLY FACILITIES, WHICH INCLUDES INTAKE SCREENS AND RAW WATER PIPING IN THE LAKE AND A PUMP STATION AND ELECTRICAL BUILDING. THE SITE SLOPES FROM LAKEWOOD DRIVE INTO THE LAKE, WITH NO MAJOR DRAINAGE FEATURES. THE SLOPES ARE APPROXIMATELY 7% NEAR LAKEWOOD DRIVE AND TRANSITION INTO THE STEEP SLOPES NEAR THE WATERS EDGE. THE IMPERVIOUS SURFACE AREA COVERS 73% OF THE SITE.

THE SITE IS BOUND ON THE EAST BY SMITH MOUNTAIN LAKE. THE OTHER SURROUNDING PROPERTIES ARE EXISTING SINGLE FAMILY RESIDENTIAL PROPERTIES.

### OFF-SITE STORAGE AREAS

THE PROJECT INCLUDES EXCAVATION FOR TWO STRUCTURES. THE SPOIL MATERIAL TO BE HAULED OFF-SITE FOR DISPOSAL IS ESTIMATED TO BE LESS THAN THE 50 CY. THE SPOIL WILL BE DISPOSED OF ON A SMALL OFF-SITE PROPERTY, IMPACTING LESS THAN 0.1 ACRES. DUE TO THE SMALL NATURE OF THE OFF-SITE IMPACTS, A SEPARATE EROSION AND SEDIMENT CONTROL APPLICATION IS NOT REQUIRED.

THE PREDOMINANT SOILS ON THIS SITE ARE CECIL FINE SANDY LOAM. TYPICAL PROPERTIES FOR THIS CLASS OF SOILS INCLUDE WELL DRAINED SOILS WITH MODERATELY HIGH TO HIGH PERMEABILITY AND SLOPES RANGING FROM 7% TO 15%.

## CRITICAL EROSION AREAS

THE LAKE SHORE IS LINED WITH RIP-RAP TO PROTECT THE SHORELINE FROM EROSION. THE RIP-RAP WILL BE MAINTAINED AT ALL TIMES, EXCEPT DURING INSTALLATION OF THE RAW WATER VAULT AND UNDERWATER FEATURES. THE DESIGN INCLUDES ADDITIONAL RIP-RAP COVERING THE NEW IN-LAKE PIPING TO PROVIDE LONG-TERM PROTECTION. THE RIP RAP WILL BE RESTORED IMMEDIATELY UPON INSTALLATION OF THE FACILITIES.

### EROSION AND SEDIMENT CONTROL MEASURES

DUE TO THE SMALL SIZE OF THE DISTURBANCE, SILT FENCE WILL BE USED AS THE PRIMARY EROSION CONTROL FEATURE. THE TOTAL DRAINAGE AREA FLOWING ACROSS THE PROPERTY IS 18 000 SE. AND THE MAXIMUM UPSTREAM LENGTH OF DISTURBED AREA UPSTREAM OF ANY SECTION OF SILT FENCE IS 65 FEET. TO PROVIDE ENHANCED PROTECTION OF THE LAKE, A SECOND ROW OF SILT FENCE WILL BE INSTALLED ALONG THE SHORE-LINE.

TYPICALLY, A CONSTRUCTION ENTRANCE IS PROVIDED FOR TO MINIMIZE SEDIMENT DEPOSITED ON NEARBY ROADWAYS, HOWEVER, A STANDARD CONSTRUCTION ENTRANCE WILL NOT FIT ON THE PROJECT SITE. ALSO, THE MAJORITY OF THE SITE IS CURRENTLY PAVED AND THE CONSTRUCTION PLAN IS TO SALVAGE THAT PAVEMENT. TRUCKS THAT HAUL MATERIAL OFF SITE WILL STAY ON THE PAVED AREA OF THE SITE. VEHICLES WITH VISIBLE SEDIMENT WILL BE WASHED DOWN PRIOR TO LEAVING THE SITE. ANY SEDIMENT ON NEIGHBORING STREETS WILL BE REMOVED BY STREET SWEEPING AS NECESSARY.

## STRUCTURAL MEASURES

SILT FENCE - 3.05: THE ONLY STRUCTURAL MEASURE EMPLOYED WILL BE SILT FENCE, WHICH WILL SURROUND THE CONSTRUCTION AREA. A SECOND ROW OF SILT FENCE WILL BE INSTALLED ALONG THE SHORELINE.

## VEGETATIVE PRACTICES

TEMPORARY SEEDING -3.31: ALL DENUDED AREAS WHICH WILL BE LEFT DORMANT FOR EXTENDED PERIODS OF TIME SHALL BE SEEDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING. SELECTION OF THE SEED MIXTURE WILL DEPEND ON THE TIME OF YEAR IT IS APPLIED.

PERMANENT SEEDING -3.32: ALL DENUDED AREAS WHICH WILL BE LEFT DORMANT FOR A YEAR OR MORE SHALL BE SEEDED WITH PERMANENT VEGETATIVE COVER.

MULCHING - 3.35: LANDSCAPED AREAS WILL BE MULCHED AFTER PLANTING AS INDICATED ON THE LANDSCAPING PLAN

# MANAGEMENT STRATEGIES

SILT FENCE WILL BE THE FIRST ITEM INSTALLED ON THE SITE.

EXCAVATION OF THE RAW WATER VAULT WILL BE DOWN TO APPROXIMATE ELEVATION 794, WHICH IS APPROXIMATELY 2 FEET ABOVE NORMAL WATER LEVEL. SOME MINOR GROUNDWATER MAY BE ENCOUNTERED IN THE EXCAVATION, WHICH WILL BE REMOVED BY SUMP PUMP. ANY WATER PUMPED OUT OF THE SUMP WILL BE DISCHARGED THROUGH A SEDIMENT BAG TO REMOVE SEDIMENT PRIOR TO FLOWING INTO THE LAKE. THE EXCAVATION AND CONSTRUCTION OF THE VAULT WILL BE COMPLETELY AS EXPEDITIOUSLY AS POSSIBLE TO MINIMIZE THE TIME OF THE DISTURBANCE. THE RIP-RAP APRON AROUND THE VAULT WILL BE RESTORED AS SOON AS POSSIBLE.

THE FOUNDATION OF THE ELECTRICAL BUILDING WILL REQUIRE AN AREA OF LESS THAN 1,000 SF TO BE EXCAVATED. THE AREAS OUTSIDE THE LIMITS OF THE BUILDING WILL HAVE TEMPORARY SEEDING APPLIED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE BUILDING FOUNDATION.

TRUCKS THAT HAUL MATERIAL OFF SITE WILL STAY ON THE PAVED AREA OF THE SITE. VEHICLES WITH VISIBLE SEDIMENT WILL BE WASHED DOWN PRIOR TO LEAVING THE SITE. ANY SEDIMENT ON NEIGHBORING STREETS WILL BE REMOVED BY STREET SWEEPING AS NECESSARY

## PERMANENT STABILIZATION

THE RIP-RAP APRON WILL BE MAINTAINED THROUGHOUT CONSTRUCTION, WITH REPAIRS MADE AS SOON AS POSSIBLE AT ANY AREAS WHERE THE RIP-RAP MUST BE REMOVED FOR CONSTRUCTION. THE ASPHALT AREAS WILL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICAL. DAMAGES AREA WILL BE REPAIRED TO PROVIDE A SMOOTH ASPHALT SURFACE AT THE COMPLETION OF THE PROJECT. THE LANDSCAPED AREAS WILL BE MULCHED IMMEDIATELY FOLLOWING PLANTING.

## STORMWATER MANAGEMENT

RUN-OFF CALCULATIONS INDICATE A MINOR INCREASE IN RUNOFF RELATED TO THE NEW ELECTRICAL BUILDING. NO STORMWATER FEATURES ARE INCLUDED BECAUSE THE SITE COMPRISES LESS THAN 1% OF THE TOTAL WATERSHED AREA.NOTE THAT A VARIANCE (VP140002) WAS APPROVED THAT ALLOWED FOR A MAXIMUM LOT COVERAGE OF 87%.

# MAINTENANCE

THE SILT FENCE BARRIER WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC, SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALF-WAY TO THE TOP OF THE BARRIER.

SEEDED AREAS WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO DEVELOP AND MAINTAIN A GOOD STAND.

## INSPECTIONS

THE GENERAL CONTRACTOR SHALL INSPECT DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION. STRUCTURAL CONTROL MEASURES, AND THE AREA OF CONSTRUCTION VEHICLE ACCESS AT LEAST EVERY FOURTEEN (14) CALENDAR DAYS, AND WITHIN FORTY-EIGHT (48) HOURS OF THE END OF A STORM EVENT PRODUCING 1/2\* OR GREATER OF PRECIPITATION. WHERE AREAS HAVE BEEN FINALLY OR TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (SITE IS COVERED WITH SNOW, ICE, OR FROZEN GROUND EXISTS) SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

INSPECT DISTURBED AREAS AND AREAS OF MATERIALS STORAGE THAT ARE EXPOSED TO PRECIPITATION FOR EVIDENCE OF, OR THE POTENTIAL FOR SEDIMENT ENTERING THE STORM DRAIN SYSTEM. INSPECT E&S CONTROLS IN ACCORDANCE WITH REQUIREMENTS STATED HEREIN, AND INSPECT POINTS OF STORM DRAIN DISCHARGE FOR EXCESSIVE SEDIMENTATION. CORRECT SITE CONTROLS AS REQUIRED TO REDUCE SEDIMENTATION OF STORM DRAINS, CULVERTS, AND RECEIVING CHANNELS. IF CONTROLS OR SEDIMENT PREVENTION AREAS ARE FOUND TO BE IN NEED OF REPAIR OR MODIFICATION, THE GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES AS REQUIRED. ANY ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES SHALL BE RECORDED AS FIELD REVISIONS TO THESE PLANS. IN THE EVENT THAT ADDITIONAL CONTROLS ARE FOUND TO BE REQUIRED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THESE CONTROLS BEFORE THE NEXT ANTICIPATED STORM EVENT. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICAL, THEY SHALL BE IMPLEMENTED AS SOON AS PRACTICAL.

A REPORT SUMMARIZING THE SCOPE OF INSPECTIONS, NAME OF INSPECTOR, INSPECTOR'S QUALIFICATIONS, DATES OF INSPECTIONS, MAJOR OBSERVATIONS PERTAINING TO THE IMPLEMENTATION OF THESE EROSION CONTROL PLANS, AND ACTIONS TAKEN SHALL BE MADE AND RETAINED AS A PART OF THESE PLANS. MAJOR OBSERVATIONS OF THESE REPORTS SHALL INCLUDE: THE LOCATIONS OF EXCESSIVE SEDIMENTATION FROM THE SITE; LOCATIONS OF CONTROLS IN NEED OF REPAIR; LOCATIONS OF FAILED OR INADEQUATE CONTROLS; AND LOCATIONS WHERE ADDITIONAL CONTROLS ARE NEEDED.

## GENERAL EROSION AND SEDIMENT CONTROL NOTES

- UNLESS OTHERWISE INDICATED. CONSTRUCT AND MAINTAIN ALL VEGETATIVE AND STRUCTURAL FROSTON AND SEDIMENT CONTROL PRACTICES ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND VIRGINIA REGULATIONS VR 625-02-00 EROSION AND SEDIMENT CONTROL REGULATIONS
- ES-2: INSPECTORS WILL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHODS AND EFFECTIVENESS OF THE F.S.C. PLAN
- PLACE ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR AS THE FIRST STEP IN CLEARING, GRADING, OR LAND DISTURBANCE. ES-3:
- ES-4: MAINTAIN A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFFSITE BORROW OR WASTE AREA), SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE ARCHITECT/ENGINEER FOR REVIEW AND ACCEPTANCE.
- PROVIDE ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE LOCAL ES-6:
- ES-7: ALL DISTURBED AREAS SHALL DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND-DISTURBING ACTIVITIES
- ES-8: DURING DEWATERING OPERATIONS, PUMP WATER INTO AN APPROVED FILTERING DEVICE.
- INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. MAKE ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES IMMEDIATELY.



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C-20-501 SHEET

ISSUED FOR CONSTRUCTION

SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE AND DISTURBANCE TAKES PLACE.

STABILIZATION METHODS SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS. DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION SEDIMENT TRAPS AND BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO

CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZATION MEASURES UNTIL THE PROBLEM IS CORRECTED.

CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAINAGE STRUCTURE.

WHENEVER WATER SEEPS FROM A SLOPE FACE. ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.

ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.

WHEN WORK IN A LIVE MATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NOMEROJBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFEDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NOMEROJBLE COVER MATERIALS.

WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX (6) MONTH PERIOD, A TEMPORARY STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL.

ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET. THE BEDS AND BANKS OF ANY WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.

THE BEDS AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE 15 IS COMPLETED.

UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION UNIDERGHOUND UTILITY LINES SHALL BE INSTALLED IN ACCOMDANCE WITH THE FULLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA: 1) NO MORE THAN 500 LINEAR FEET OF ANY THENCHES. 3) EFFLUENT FROM DEWATERIA SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES. 3) EFFLUENT FROM DEWATERIA OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICEM OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY 4) MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION. 5) RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH USES DEGULATIONS SALADE INCADE TO SET DEGULATIONS SALADE DEGULATIONS SALADE INCADE TO SET DEGULATIONS SALADE DEGULATIONS SALADE DEGULATIONS SALADE INCADE TO SET DEGULATIONS SALADE SALADE SALADE SALADE SALADE SALADE SALADE SALADE SALADE WITH THESE REGULATIONS. 6) APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH

WHERE CONSTRUCTION VEHICLES ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE WHERE CONSTRUCTION VEHICLES ACCESS MODIES INTERSECT PAVED OF POBLIC HOURS, PROVISIONS SHALL BE INDIE TO MINIMIZE THE TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM ADMINISTRATOR. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.

PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DISPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THAT STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE APPLICABLE CRITERIA.

FOR ALL DENUDED AREAS

NO ONSITE STOCKPILES, OFFSITE STOCKPILES WILL BE PERMITTED SEPARATELY ONLY IF GREATER THAN

(SF)

NOT APPLICABLE

NOT APPLICABLE

FOR ENTIRE SITE

(TS) (PS) (MU)

FOR ALL FRODING SLOPES

MAINTAIN SHEET FLOW ACROSS SITE SHOULD STEEPS OCCUR IN ANY EXISTING OR

NEW CUT OR FILL SLOPE, THE CONTRACTOR SHALL FIRST INSURE THAT THERE ARE NOT AREAS OF PONDED WATER AT THE SLOPES, AND THEN SHALL CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT GEOTECHNICAL ENGINEER FOR ON-SITE EVALUATION OF THE

NOT APPLICABLE

NOT APPLICABLE

(RR)

MAINTAIN EXISTING RIPRAP TO MAXIMUM EXTENT POSSIBLE, INSTALL NEW RIPRAP IMMEDIATELY FOLLOWING INSTALLATION OF UNDERWATER FACILITIES

NOT APPLICABLE

(RR) MAINTAIN EXISTING RIPRAP TO MAXIMUM EXTENT POSSIBLE. INSTALL NEW RIPRAP IMMEDIATELY FOLLOWING INSTALLATION OF UNDERWATER FACILITIES

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(DS ALL UTILITY LINES ON SITE PROTECTED BY STLT FENCE BARRIER FILTER ANY TRENCH DEWATERING

(CE) MAINTAIN TRAFFIC ON PAVED AREAS OF SITE

TO MAXIMUM EXTENT. INSPECT VEHICLES FOR SEDIMENT AND WASH SEDIMENT AS NECESSARY SEDIMENT THAT FALLS ON STREET.

TS PS MU



ALL WATER FLOWS TO SMITH MOUNTAIN LAKE. NO IMPACT FROM RUNOFF VOLUME OR VELOCITY EMPLOY ALL PRACTICES IN THIS ESC PLAN TO PROTECT LAKE FROM SEDIMENT

6" x6" ANCHOR TRENCH, BACKETLL AND COMPACT WITH NATIVE SOIL MATERIALS. -STAPLES OR TOP SOIL-FEROSION CONTROL BLANKET 8" STAPLES AT 12" ON CENTER BEGIN BLANKET PLACEMENT AT THE TOP OF THE SLOPE BY ANCHORING IN A 6" DEEP x 6" WIDE TRENCH. BACKFILL AND COMPACT TRENCH STAPLE EDGES OF PARALLEL BLANKETS PROVIDING 2" OVERLAP MINIMUM. -6" TOP SOIL SEED AND MULCH 3. SPLICE BLANKETS DOWN THE SLOPES PLACING END PER SEASONAL SOTI PROTECTION CHART OVER END (SHINGLE STYLE) WITH MINIMUM OF 6° OVERLAP. STAPLE THROUGH OVERLAPPED AREA @ 12° INTERVALS.

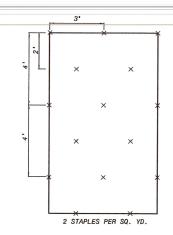
-COMPACTED NATIVE SOIL @ 95%

4. SEE DETAIL D-2 FOR STAPLE ANCHORAGE OF EROSION CONTROL MAT.

EROSION CONTROL BLANKET FOR SLOPE STABILIZATION

# EROSION CONTROL BLANKET (SURFACE APPLIED) MAINTENANCE REQUIREMENTS:

- DURING VEGETATIVE ESTABLISHMENT INSPECT AFTER STORM EVENTS FOR ANY EROSION BELOW THE BLANKET.
- IF ANY AREA SHOWS EROSION PULL BACK THAT PORTION OF THE BLANKET COVERING IT, ADD SOIL, RE-SEED THE AREA, AND RE-LAY AND STAPLE THE BLANKET.
- 3. AFTER VEGETATIVE ESTABLISHMENT, CHECK THE TREATED AREA WEEKLY.

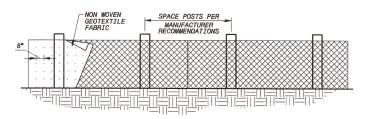


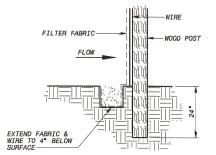
ANCHOR BLANKET @ FLOW LINE WITH ADDITIONAL ROW OF STAPLES AT
4' INTERVALS `⊗ Ø  $\otimes$ 

NOTE:

CHANNEL LININGS UTILIZE STAPLE PATTERN WITH ADDITIONAL STAPLES ON SIDE SLOPES AT PROJECTED WATER LINE. STAPLE PATTERNS APPLY TO ALL NORTH AMERICAN GREEN EROSION CONTROL BLANKETS. STAPLE PATTERNS MAY VARY DEPENDING UPON SOIL

EROSION CONTROL BLANKET ANCHORAGE





NOTES:

- POSTS SHALL HAVE A MINIMUM LENGTH OF 36 INCHES PLUS BURIAL DEPTH. POST MATERIAL SHALL BE WOOD, STEEL, OR SYNTHETIC, AND SHALL BE OF SUFFICIENT STRENGTH TO RESIST DAMAGE DURING INSTALLATION AND TO SUPPORT APPLIED LOADS.
- FABRIC SHALL BE A WOVEN GEOTEXTILE FABRIC CONSISTING OF STRONG, ROT RESISTANT,
  MATERIALS RESISTANT TO DETERIORATION FROM ULTRAVIOLET AND HEAT EXPOSURE.

SILT FENCE CONSTRUCTION
NO SCALE



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HORITY & INTAKE

CIVIL EROSION AND SEDIMENT RATIVE AND DETAILS - 3

BEDFORD REGIONAL WATER A SMITH MOUNTAIN LAKE W RAW WATER PUMPING STATION

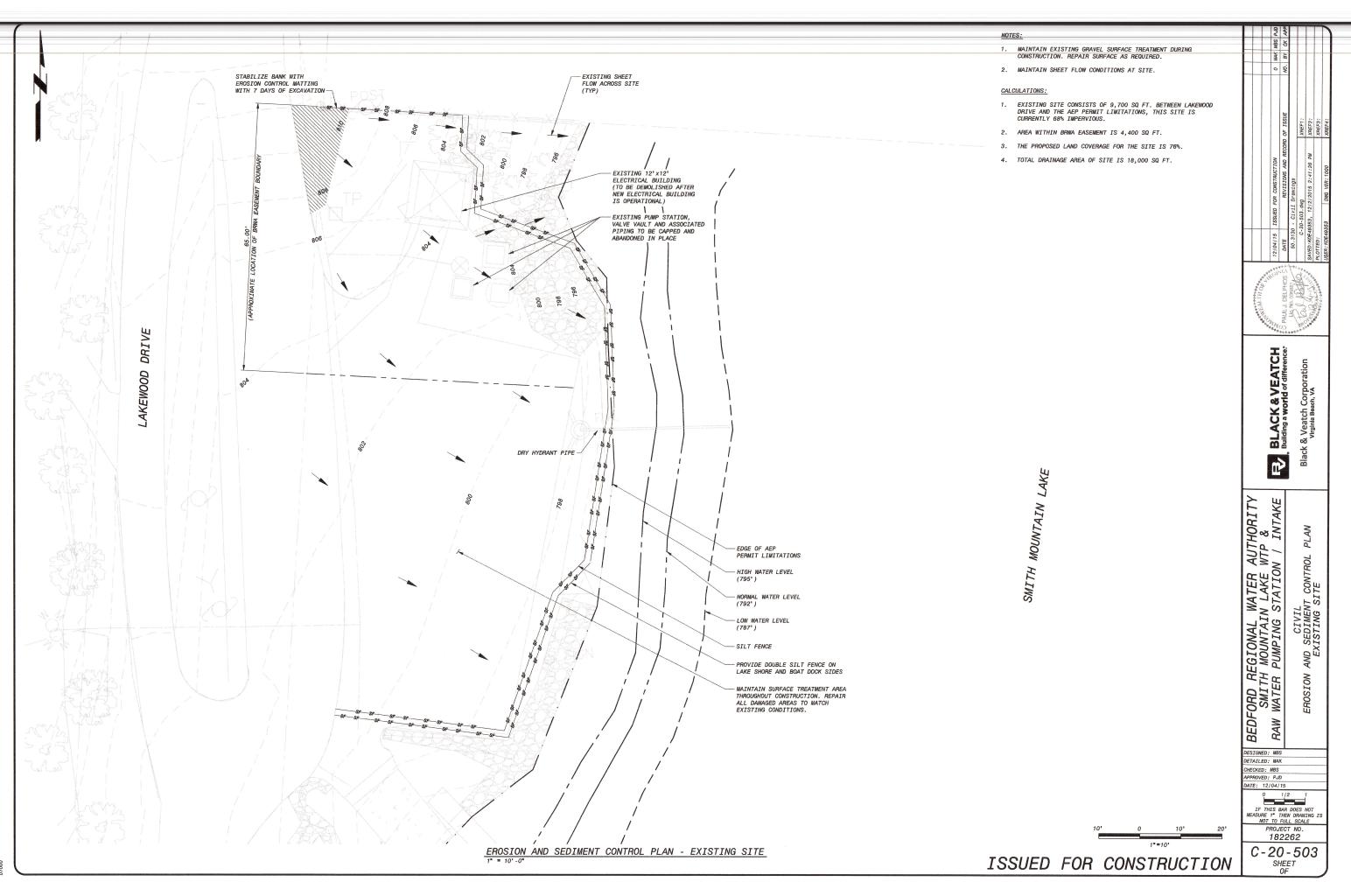
ESIGNED: MBS TAILED: MAR CHECKED: MBS PPROVED: PJD

0 1/2 1 NOT TO FULL SCALE

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