

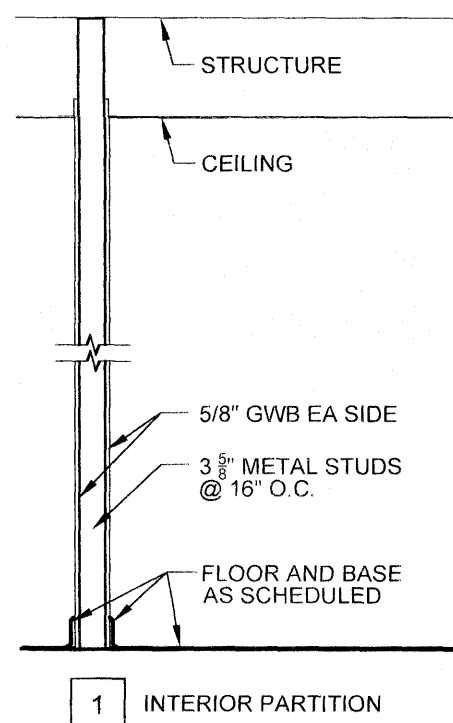
### DEMO NOTES

- 1 REMOVE PORTION OF WALL FOR NEW DOOR OPENING.
- 2 REMOVE WALL.
- 3 REMOVE CEILING TILE AND GRID AS REQUIRED, SALVAGE FOR RE-INSTALLATION.
- 4 REMOVE LIGHT SWITCH AND RELOCATE, EXTEND CIRCUIT AND SWITCH LEG AS REQUIRED.

### NEW WORK NOTES

- 1 NEW WALL.
- 2 NEW DOOR AND HOLLOW METAL DOOR FRAME, MATCH EXISTING.
- 3 PATCH AND REPAIR DISTURBED AREA IN WALL.
- 4 PATCH AND INFILL 2x4 ACOUSTIC CEILING GRID AND TILE, MATCH EXISTING.
- 5 RELOCATED LIGHT SWITCH.
- 6 PAINT WALLS.
- 7 INSTALL NEW CARPET TILE.
- 8 INSTALL NEW VINYL WALL BASE.
- 9 PAINT DOOR FRAME.
- 10 INSTALL NEW 2x2 CEILING GRID & TILE IN THIS SPACE, MATCH EXISTING.
- 11 RE-INSTALL EXISTING SALVAGED TILE AS REQUIRED IN THIS SPACE.
- 12 THRESHOLD T-1.

### PARTITION TYPES



### DOOR HARDWARE SCHEDULE

SET NO. 1	1 EA.	INTERIOR - OFFICE LEVER LOCK SET
	3	4 1/2"x4 1/2" BALL BEARING HINGES
	3	SILENCERS
	1	WALL STOP
SET NO. 2	1 EA.	INTERIOR - PASSAGE LEVER LATCH SET
	3	4 1/2"x4 1/2" BALL BEARING HINGES
	3	SILENCERS
	1	FLOOR STOP

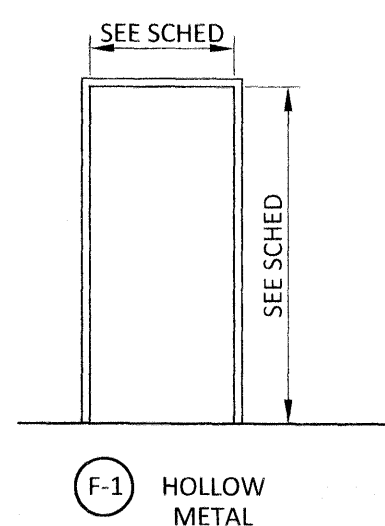
NOTE:  
FINISH FOR ALL EXPOSED VISIBLE HARDWARE SHALL MATCH EXISTING

### DOOR SCHEDULE

MARK	DOOR							FRAME		HDW	REMARKS
	SIZE	HEIGHT	THICK.	MATR'L	TYPE	FINISH	GLASS	TYPE	MATR'L		
112	3'-0"	7'-0"	1 3/4"	WOOD	A	STAIN	-	F-1	H.M.	1	WOOD DOOR MATCH EXISTING
113	3'-0"	7'-0"	1 3/4"	WOOD	A	STAIN	-	F-1	H.M.	2	WOOD DOOR MATCH EXISTING
114	3'-0"	7'-0"	1 3/4"	WOOD	A	STAIN	-	F-1	H.M.	2	WOOD DOOR MATCH EXISTING

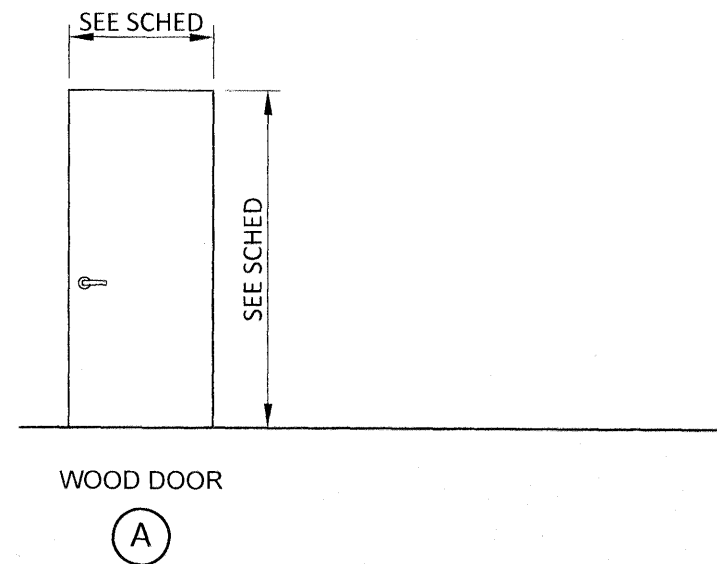
### HOLLOW METAL FRAME TYPES

SCALE: 1/4" = 1'-0"



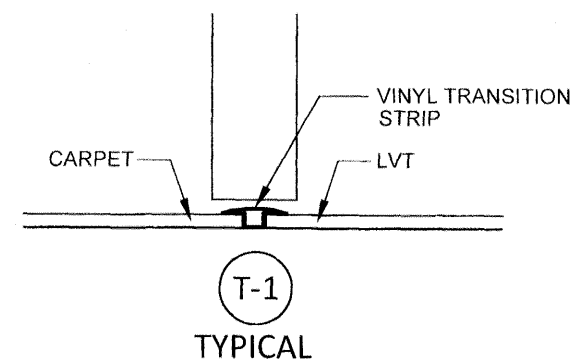
### DOOR TYPES

SCALE: 1/4" = 1'-0"



NOTE:  
SOLID CORE WOOD DOORS, NEW DOORS SHALL MATCH EXISTING DOORS WOOD SPECIES, STAIN COLOR AND FINISH SHEEN, TYPICAL.

### THRESHOLDS



### INTERIOR FINISH SCHEDULE

DESIGNATION	FINISH DESCRIPTION
CPT-1:	CARPET: PATCRAFT, ORBITAL, STYLE #10379, COLOR #00570 "FLYING SAUCER", INTALL METHOD: QUARTER TURN.
LVT-1: FLOORING	MANUFACTURER: ADORE FLOORS COLLECTION COLLECTION: NATURELLE STYLE: DW-3008 PATTERN: BUTTER PECAN COLORS: BEIGE, LIGHT BROWN, WARM BROWN, YELLOW SIZE: 3.6"x37.4" INSTALLATION: GLUE DOWN
LVT-2: FLOORING	MANUFACTURER: ADORE FLOORS COLLECTION (CORRIDOR ACCENT) COLLECTION: NATURELLE STYLE: DT-5906 PATTERN: ARGENTO COLOR: COOL GRAY, WHITE, LIGHT GRAY SIZE: 18.5"x18.5" INSTALLATION: GLUE DOWN
PAINT-1	SHERWIN WILLIAMS - MATCH COLORS IN EXISTING WVWA ENGINEERING SUITE ON 3RD FLOOR.
WB-1	WALL BASE - 4" VINYL BASE, TRADITIONAL, #20 CHARCOAL BY TARKETT, TYPICAL FOR ALL WALLS IN ALL SPACES

### GENERAL NEW WORK NOTES

1. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS TO PROVIDE A COMPLETE TENANT SUITE UPFIT AND REMODEL.
2. REPAIR ALL WALLS WHERE EXISTING WALLS ARE REMOVED, MODIFIED OR RECONFIGURED AND ALSO WHERE ANY ELECTRICAL OR DATA NETWORK DEVICE WAS REMOVED CONTRACTOR IS RESPONSIBLE FOR HAVING THE ENTIRE SUITE SPACE CLEANED PRIOR TO TURN OVER TO OWNER FOR OCCUPANCY.

### GENERAL DEMOLITION NOTES

WALLS AND OTHER OBJECTS ON THE PLAN THAT ARE SHADED AND CONTINUOUS ARE EXISTING TO REMAIN.

WALLS AND OTHER OBJECTS ON PLANS THAT ARE INDICATED WITH A DASHED LINE AND A NOTE ARE ITEMS TO BE REMOVED OR DEMOLISHED.

GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION. GENERAL CONTRACTOR SHALL COORDINATE WITH THE BUILDING OWNER TO DETERMINE WHICH ELEVATOR CAN BE USED FOR REMOVAL OF CONSTRUCTION DEBRIS AND THE TIMES AT WHICH THE ELEVATOR IS AVAILABLE FOR THAT USE.

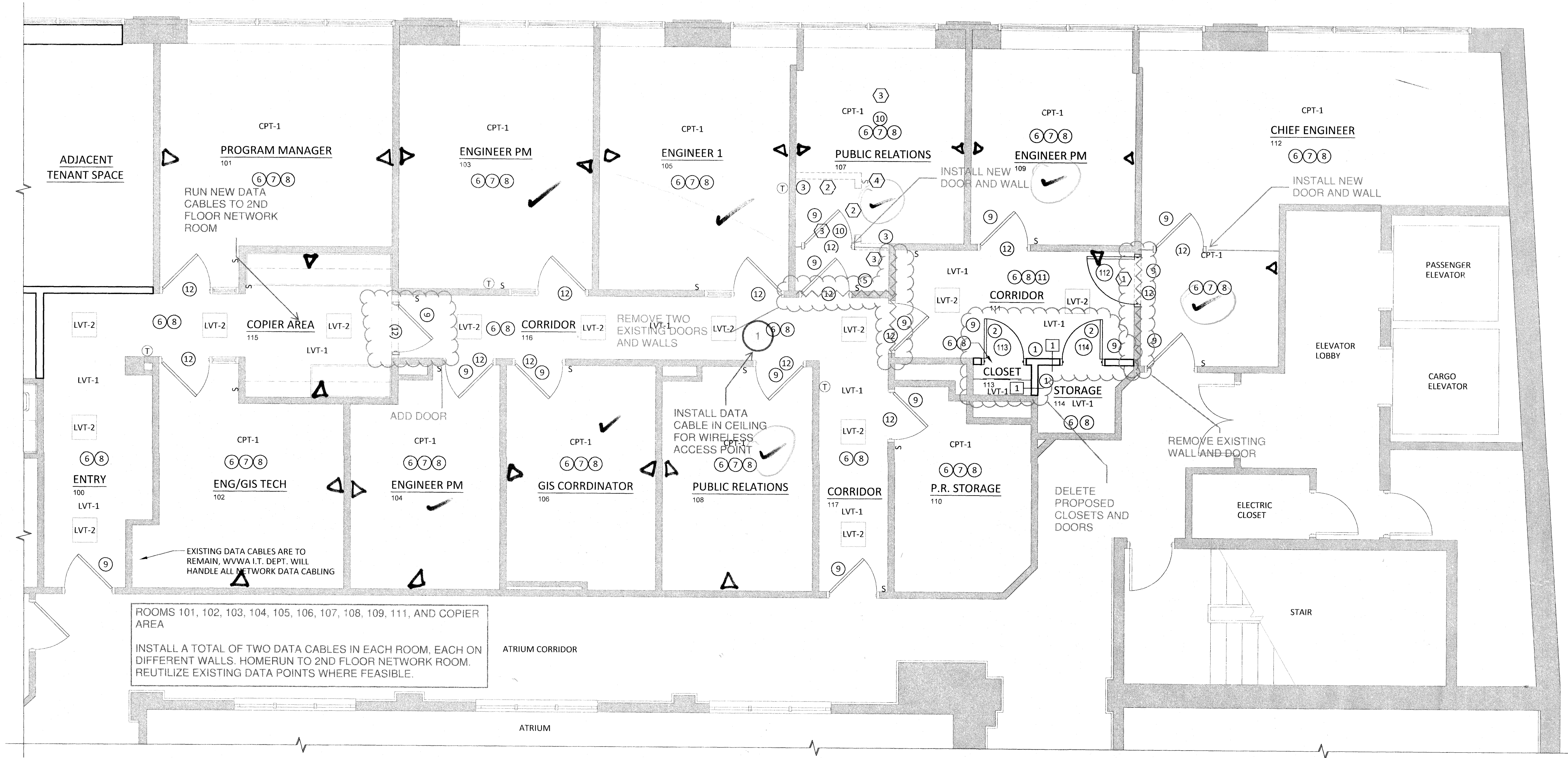
CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF ALL DEMOLITION DEBRIS AND MATERIAL DURING PROJECT DEMOLITION AND CONSTRUCTION.

CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OF ANY SUSPECTED HAZARDOUS MATERIALS.

CONTRACTOR SHALL CAREFULLY REMOVE ALL DOORS, DOOR FRAMES, LIGHT FIXTURES OR PLUMBING FIXTURES AS INDICATED ON THE DEMOLITION PLANS, SALVAGE AND STORE TO BE RE-USED IN A NEW LOCATION IF SO INDICATED ON DEMO OR NEW WORK PLANS.

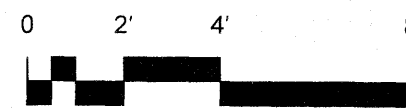
ALL WALL PAPER COVERINGS SHALL BE REMOVED.

ALL CARPET AND FLOOR COVERINGS IN THE PROJECT AREA ARE TO BE REMOVED.



### PARTIAL PLAN - SUITE 312

SCALE: 1/4" = 1'-0"



DATE: FEB. 03, 2021

REVISIONS  
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SUITE 312 RE-FRESH - COULTER BUILDING  
WESTERN VIRGINIA  
WATER AUTHORITY  
601 South Jefferson Street Roanoke, Virginia

DRAWN BY: MTR  
CHECKED BY: DJP

FLOOR PLAN  
NOTES AND  
SCHEDULES

COMMONWEALTH OF VIRGINIA  
02/03/2021  
D. JEFFREY PARKHILL  
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