

LEGEND

EX.	EXISTING
P.B.	PLAT BOOK
D.B.	DEED BOOK
PG.	PAGE
S.F.	SQUARE FEET
AC.	ACRE
R/W	RIGHT OF WAY
D.E.	DRAINAGE EASEMENT
W.L.E.	WATER LINE EASEMENT
S.S.E.	SANITARY SEWER EASEMENT

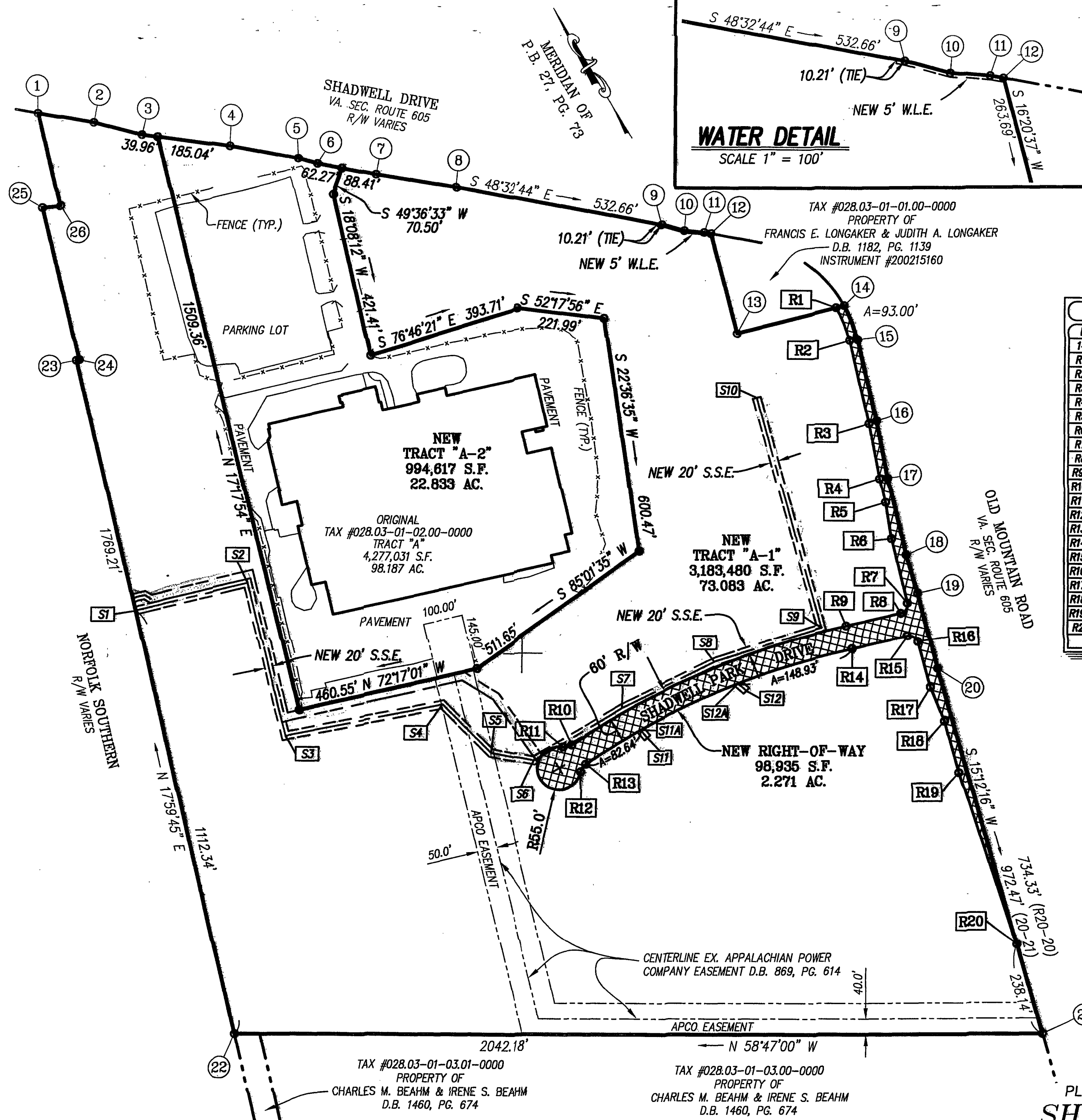
CENTERLINE NEW 20' SANITARY SEWER EASEMENT TABLE

LINE	BEARING	DISTANCE
22-S1	N 17°59'45" E	1112.34'(TIE)
S1-S2	S 72°34'23" E	292.45'
S2-S3	S 171°54" W	403.01'
S3-S4	S 70°23'04" E	403.12'
S4-S5	S 140°1'03" E	174.65'
S5-S6	S 48°49'04" E	113.32'
S6-S7	S 89°42'46" E	260.00'
S7-S8	S 85°47'36" E	261.95'
S8-S9	S 76°55'19" E	282.00'
S9-S10	N 15°44'43" E	610.00'
S11A-S11	S 09°33'18" E	25.62'
S12A-S12	S 16°09'06" E	28.32'

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
1-2	S 48°32'44" E	139.62'
2-3	S 43°59'10" E	125.80'
3-4	S 51°05'34" E	225.00'
4-5	S 48°32'44" E	175.19'
5-6	S 42°53'01" E	50.68'
6-7	S 48°32'44" E	150.68'
7-8	S 49°58'37" E	204.95'
8-9	S 48°32'44" E	532.66'
9-10	S 43°46'04" E	60.03'
10-11	S 54°13'21" E	50.55'
11-12	S 48°32'44" E	16.88'
12-13	S 16°20'37" W	263.69'
13-14	S 73°46'35" E	274.83'
14-15	S 10°02'23" W	92.69' CH.
15-16	S 18°02'16" W	212.88'
16-17	S 19°56'38" W	150.31'
17-18	S 18°02'16" W	201.21'
18-19	S 14°53'30" W	102.51'
19-20	S 16°11'55" W	199.63'
20-21	S 15°12'16" W	972.47'
21-22	N 58°47'00" W	2042.18'
22-23	N 17°59'45" E	1769.21'
23-24	S 71°57'12" E	7.00'
24-25	N 17°59'45" E	400.00'
25-26	S 64°00'15" E	45.00'
26-1	N 17°59'45" E	243.34'

AREA = 4,277,031 S.F. = 98.187 ACRES



NEW RIGHT-OF-WAY TABLE

LINE	BEARING	DISTANCE
14-R1	N 73°46'35" W	20.67'(TIE)
R1-R2	S 09°18'11" W	A=89.27*
R2-R3	S 18°02'16" W	218.43'
R3-R4	S 20°01'24" W	144.31'
R4-R5	S 18°02'16" W	60.81'
R5-R6	S 22°11'46" W	94.73'
R6-R7	S 17°17'58" W	170.11'
R7-R8	S 62°42'48" W	A=30.62*
R8-R9	N 71°52'21" W	141.13'
R9-R10	N 82°35'47" W	A=755.46*
R10-R11	N 71°07'53" W	A=22.66*
R11-R12	S 04°02'14" E	A=77.65*
R12-R13	N 63°47'47" E	A=23.37*
R13-R14	S 82°34'27" E	A=731.63*
R14-R15	N 71°52'21" W	143.73'
R15-R16	S 28°19'29" E	A=29.63*
R16-R17	S 15°32'24" W	121.83'
R17-R18	S 08°26'43" W	94.07'
R18-R19	S 15°12'16" W	136.63'
R19-R20	N 12°43'43" E	463.00'
R20-21	S 15°12'16" W	238.14'(TIE)

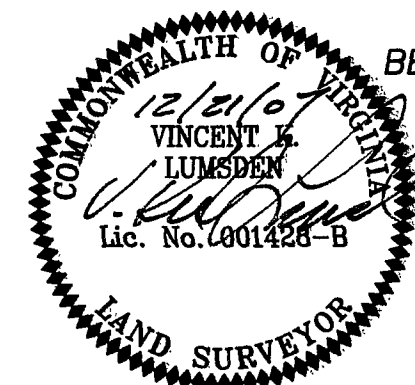
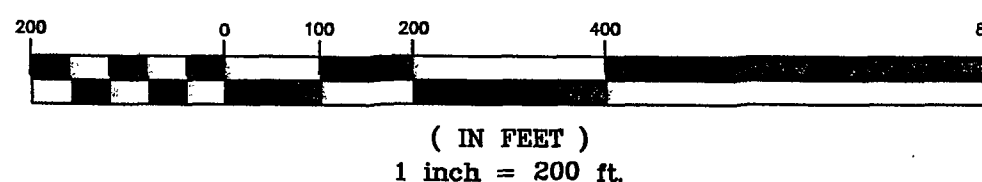
* DENOTES CURVE

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
14-15	333.10'	93.00'	46.80'	92.69'	S 10°02'23" W	15°59'45"
R1-R2	313.84'	89.58'	45.09'	89.27'	N 8°18'11" E	16°21'11"
R7-R8	21.50'	34.08'	21.81'	30.62'	S 62°42'48" W	90°49'41"
R9-R10	2030.00'	759.88'	384.44'	755.46'	N 82°35'47" W	21°26'51"
R10-R11	30.00'	23.24'	12.24'	22.66'	N 71°07'53" W	44°22'38"
R11-R12	55.00'	259.36'	54.82'	77.65'	S 04°02'14" E	27°01'20"
R12-R13	30.00'	24.01'	12.69'	23.37'	N 63°47'47" E	45°51'21"
R13-R14	1970.00'	735.90'	372.29'	731.63'	S 82°34'27" E	21°24'11"
R15-R16	21.50'	32.68'	20.44'	29.63'	S 28°19'29" E	87°05'43"

NOTE: SEE SHEET 3 OF 3 FOR ADDITIONAL EASEMENTS & NEW RIGHT-OF-WAY DEDICATION.

GRAPHIC SCALE



PLAT SHOWING
SHADWELL INDUSTRIAL PARK
 BEING A SUBDIVISION OF TRACT "A" (98.187 AC.)
 (P.B. 27, PG. 73)
 PROPERTY OF
BOGAR, L.L.C.
 SITUATED ALONG SHADWELL DRIVE
 HOLLINS MAGISTERIAL DISTRICT
 ROANOKE COUNTY, VIRGINIA

DATE: December 21, 2007

COMM. NO.: 06-145

SCALE: 1" = 200'

LUMSDEN ASSOCIATES, P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 ROANOKE, VIRGINIA

4664 BRAMBLETON AVENUE, SW
 P.O. BOX 20669
 ROANOKE, VIRGINIA 24018

PHONE: (540) 774-4411
 FAX: (540) 772-9445
 E-MAIL: MAIL@LUMSDENPC.COM